# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# COVER SHEET

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO

## LEGAL DESCRIPTION

C1

THE FOLLOWING LEGAL DESCRIPTION IS THE SAME AS THAT IN FIDELITY NATIONAL TITLE INSURANCE COMPANY'S COMMITMENT NO. 508-F0503632-017-PN8, AMENDMENT NO.1 WITH AN EFFECTIVE DATE OF JANUARY 8, 2015 AT 7:00 A.M.

Parcel One:

That part of the Northeast one-quarter of the Southwest one-quarter of Section 10, Township 2 North, Range 69 West of the 6th P.M., describe as follows:

Beginning at a point on the North line of said SW ¼, 1802.00 feet East of the West one-quarter corner of said Section 10;
Thence South 0°05' East, 187.00 feet;
Thence East 171.00 feet;
Thence North 0°05' West, 187.00 feet to a point on the North line of said SW ¼;
Thence West along said line, 171.00 feet to the Point of Beginning.
County of Boulder, State of Colorado.

Except that portion conveyed to State of Colorado by Special Warranty Deed recorded April 29, 2014, at Reception No. 3377546.

Area Parcel 1 - 23,427 Sq ft or .538 Acres

Parcel Two:

The East half of the Northwest quarter of the Northeast quarter of the Southwest quarter of Section Ten (10), Township Two (2) North, Range Sixty-Nine (69) West, less tract described in Deed recorded in Book 990 at Page 86 of Boulder County records, County of Boulder, State of Colorado.

Except that portion conveyed to State of Colorado by Special Warranty Deed recorded April 29, 2014, at Reception No. 3377546.

Area Parcel 2 - 178,127 SQ FT or 4.09 Acres

Parcel Three:

Lot 2, Block 2, Stafford Subdivision, County of Boulder, State of Colorado.

Area Parcel 3 - 6,336 SQ FT or .145 Acres

Parcel Four: (NOT A PART OF THIS SURVEY)

Lot 1, EXCEPT the West 125 feet of the North 100 feet,
Block 2, Stafford Subdivision,
County of Boulder, State of Colorado.

Parcel Five:

Outlet A, Stafford Subdivision,
County of Boulder, State of Colorado.

Area Parcel 5 - 22,824 SQ FT or .525 Acres

## BASIS OF BEARING

BEARINGS ARE BASED UPON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN. SAID LINE BEARS NORTH 89°27'28" EAST, A DISTANCE OF 2641.92 FEET. MONUMENTED AT THE WEST QUARTER CORNER OF SECTION 10 BY A FOUND 2.5" BRASS CAP, STAMPED P.L.S #13446 AND AT THE CENTER QUARTER CORNER OF SECTION 10 BY A FOUND 3.25" ALUMINUM CAP. SAID BEARING MATCHES THE ON COLORADO STATE PLANE COORDINATE SYSTEM (NORTH ZONE) AND ALSO MATCHES THE CITY OF LONGMONT'S HORIZONTAL CONTROL SYSTEM.

PROJECT BENCHMARK: CITY OF LONGNONT BENCHMARK #77, A 3" DIAMETER BRASS CAP SET IN CONCRETE AT THE SOUTHWEST CORNER OF JAMES STREET AND GRAND AVENUE, 12' NORTHWEST OF A FIRE HYDRANT AT BACK OF WALK.

PUBLISHED NAVD88 = 4959.61 FEET

## TOTAL ACREAGE

LOT 1 - 1.83 ACRES, MORE OR LESS

LOT 2 - .524 ACRES, MORE OR LESS

## TOTAL SQUARE FOOTAGE

LOT 1 BUILDING GROSS FLOOR AREA - 15,414 SF

## ZONING

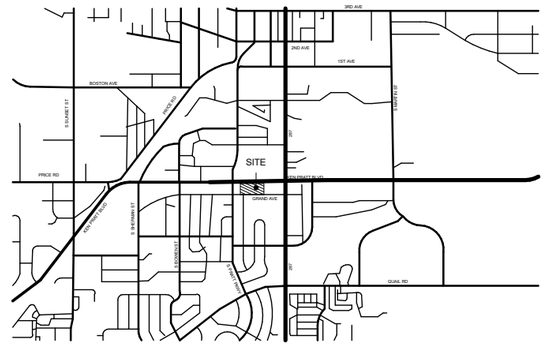
MU-C

## FLOOD PLAIN STATEMENT

2

PORTIONS OF THE PROPERTY LIE WITHIN SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1 % ANNUAL CHANCE FLOOD. THE 1% ANNUAL CHANCE FLOOD (1OO-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. ZONE AE =BASE FLOOD ELEVATIONS DETERMINED. THE BASE FLOOD IS THE WATER-SURFACE ELEVATION OF THE 1% CHANCE FLOOD. ZONE X (SHADED) =AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1 % ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. APPROXIMATE SFHAS ARE SHOWN PER FEMA GIS FLOOD MAPPING. REFERENCE FIRM MAP NUMBER 08013C0288K, FEMA PRELIMINARY FIRM DATED SEPTEMBER 30, 2019.

## VICINITY MAP




## GENERAL NOTES

1. SITE SIGNAGE WILL CONFORM WITH CITY OF LONGMONT SIGN CODE

2. THIS DEVELOPMENT PROJECT SHALL COMPLY WITH ALL APPLICABLE DEVELOPMENT CODE REQUIREMENTS OF THE CITY OF LONGMONT, COLORADO.

3. SEE NOTE ON SHEET C5 CONCERNING OWNERSHIP AND MAINTENANCE OF DRAINAGE FEATURES

4. CITY OF LONGMONT RESERVES THE RIGHT TO ADD ADDITIONAL "NO PARKING FIRE LANE" SIGNS AS REQUIRED TO MAINTAIN EMERGENCY ACCESS

5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT

6. IT IS IN THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER, AND THE CITY, OF ANY PROBLEMS IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO CONSTRUCTION.

7. IT IS THE RESPONSIBILITY OF THE DEVELOPER DURING CONSTRUCTION ACTIVITIES TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGED CONDITIONS, OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING PROGRESS FOR ANY PORTION OF THE PROJECT, IF, IN THE OPINION OF THE CITY, THE MODIFICATIONS PROPOSED BY THE DEVELOPER TO THE APPROVED PLANS, INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONDITIONS OF THE PUBLIC OR PRIVATE INFRASTRUCTURE IMPROVEMENTS, THE DEVELOPER, SHALL BE RESPONSIBLE FOR RESUBMITTING THE REVISED PLANS TO THE CITY OF LONGMONT FOR APPROVAL PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE PROJECT. ANY IMPROVEMENTS NOT CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS, OR THE APPROVED REVISED PLANS, SHALL BE REMOVED AND RECONSTRUCTED ACCORDING TO THE APPROVED PLANS.

8. THE CONTRACTOR SHALL BE SOLELY, AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT, AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE CITY TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.

9. NO PUBLIC ADDRESS SYSTEMS ARE PERMITTED ON THIS PROPERTY (DRIVE-THRU ORDER WINDOWS DO NOT COUNT TOWARD THIS REQUIREMENT).

10. OUTDOOR STORAGE IS PROHIBITED.

11. NO LAND USES ARE PERMITTED THAT ARE SUBJECT TO A DISTANCE SEPARATION STANDARD AS NOTED IN CODE SECTION 15.04.030.

12. LOADING AND UNLOADING ACTIVITIES SHALL ONLY TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 10:00 PM, AND LOADING AND UNLOADING AT THE BACK OF THE BUILDING IS RESTRICTED TO 7:00 AM AND 7:00 PM.

13. THE LAND USES ON THE PROPERTY SHALL COMPLY WITH THE OPERATIONAL SANDARDS SET FORTH IN CODE SECTION 15.05.160 REGARDING NUISANCE NOISE, ODORS, HAZARDOUS MATERIALS, GLARE/HEAT AND AIR QUALITY.

LAND USE SUMMARY TABLE LOT 1

| | |
|---|---|
| AREA LOT 1 | 1.83 ACRES |
| EXISTING ZONING | MU-C |
| PROPOSED USE | COMMERCIAL |
| ALLOWABLE BUILDING HEIGHT | 4 STORIES |
| PROPOSED BUILDING HEIGHT | 26' |
| MAXIMUM PARKING ALLOWED | 87 SPACES |
| RESTAURANT (1,900 sf x 12 sp/100) 23 SP, DRIVE THROUGH (1,584 sf x 10 sp/1000) 16 SP, RETAIL (11,930 sf x 4 sp/1000) 48 SP | 87 SPACES |
| PARKING PROVIDED | 81 SPACES |
| REQUIRED HANDICAP PARKING | 4 SPACES |
| PROPOSED HANDICAP PARKING | 4 SPACES |
| RETAIL BUILDING GROSS FLOOR AREA | 15,414 SF |
| REQUIRED BIKE PARKING (5% OF CAR PARKING) | 5 BIKES |
| PROPOSED BKE PARKING | 6 BIKES |

| SHEET NUMBER | SHEET NAME |
|---|---|
| 1 OF 15 | COVER SHEET |
| 2 OF 15 | EXISTING AND DEMO SITE PLAN |
| 3 OF 15 | SITE PLAN |
| 4 OF15 | ELEVATIONS |
| 5 OF 15 | TRASH ENCLOSURE ELEVATIONS |
| 6 OF 15 | GRADING PLAN |
| 7 OF 15 | UTILITY PLAN |
| 8 OF 15 | LANDSCAPE SCHEDULES AND NOTES |
| 9 OF 15 | LANDSCAPE PLAN |
| 10 OF 15 | LANDSCAPE DETAILS |
| 11 OF 15 | PHOTOMETRIC PLAN |
| 12 OF 15 | PHOTOMETRIC SPECIFICATIONS |
| 13 OF 15 | PHOTOMETRIC SPECIFICATIONS |
| 14 OF 15 | PHOTOMETRIC SPECIFICATIONS |
| 15 OF 15 | PHOTOMETRIC SPECIFICATIONS |

LAND SURFACES SUMMARY LOT 1

| TYPE | AREA | PERCENTAGE |
|---|---|---|
| BUILDING | 15,414 SF | 19 |
| PARKING/DRIVE | 40,191 SF | 50 |
| TURF PAD SITE | 1,028 SF | 1 |
| SIDEWALKS | 6,032 SF | 8 |
| LANDSCAPE | 17,440 SF | 22 |
| TOTAL IMPERVIOUS AREA | 61,637 SF | 77 |
| TOTAL | 79,715 SF | 100 |

| FIRE FLOW RATE | |
|---|---|
| CONST. TYPE | V-B |
| BLDG. AREA | 15,414 SF |
| FIRE FLOW RATE | 3,250 GPM |

***Legal Description***

An Annexation to the City of Longmont of a parcel of land located in the Southwest Quarter of the (SW 1/4), Section 10, Township 2 North, Range 69 West, of the 6th Principal Meridian, more particularly described as follows:

Beginning at the SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO and containing approximately

***Property Owner Dedication and Acknowledgement***

Tebo Properties Inc, being the owner of the land described herein have caused said land to be planned under the name of Southmoor Retail Plaza Conditional Use Site Plan. All conditions, terms, and specifications designated or described on this document shall be binding on the owners, and their heirs, successors, and assigns.

In witness whereof, we have hereunto set our hands and seals this _____ day of _____, _____

_____ Property Owner

_____ Property Owner

***Notary Certificate for Property Owner Acknowledgement***

State of _____

County of _____

The foregoing instrument was acknowledged before me this _____ day of _____, _____.

by _____

_____ Notary Public

_____ Commission Expiration

Notary Seal

***Mayor's Certificate***

I hereby certify that the Site Plan of the above described property is approved by the City of Longmont, Colorado.

_____ Mayor, City of Longmont

_____ Date

Seal

**AMENDMENT**

| DATE | NO. | DESCRIPTION |
|---|---|---|
| 6/5/20 | 1 | REVISION 1 |
| 10/16/20 | 2 | REVISION 2 |
| | | |
| | | |

COVER SHEET

PROJECT RECORD NUMBER:
DV-CUSP-20-00003

DATE PREPARED: 10-16-2020

PLANS PREPARED FOR:

**TEBO DEV. CO**

3111 28TH STREET
BOULDER, CO 80301

SHEET
1 OF 15

PWN Architects & Planners, Inc.
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# Summary of Comments on Layout1

## Page: 1

Number: 1 Author: NELSONMC Subject: Sticky Note Date: 12/4/2020 2:09:19 PM

Because most of the design details have been incorporated into the PIP set, detailed PW comments will be added in the PIP set. Update the CUSP per comments in the PIPs and Final Plat, as applicable.

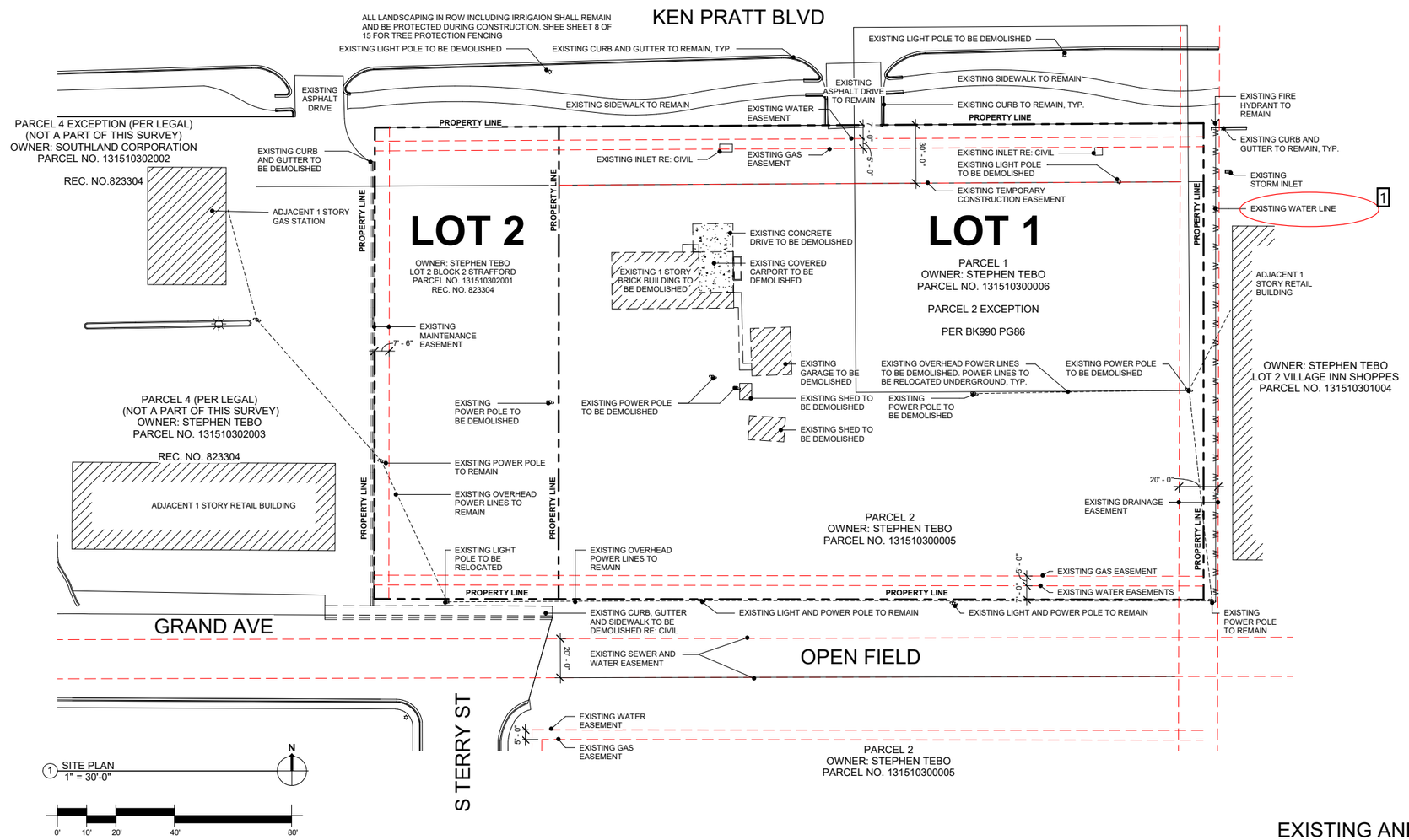
Number: 2 Author: NELSONEL Subject: Line Date: 12/4/2020 9:08:01 PM

Attach note per plat and drainage report for consistency. Notes on another pans and in drainage report reference FIRM map dated December 18, 2012, not map referenced in this note. Verify and update. Verify the FIRM map used for approved CLOMR-F and this map should be referenced.

# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# EXISTING AND DEMO SITE PLAN

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO




**AMENDMENT**

| DATE | NO. | DESCRIPTION |
|---|---|---|
| 6/5/20 | 1 | REVISION 1 |
| 10/16/20 | 2 | REVISION 2 |
| | | |
| | | |

SHEET
2 OF 15

EXISTING AND DEMO SITE PLAN

PROJECT RECORD NUMBER:
DV-CUSP-20-00003

DATE PREPARED: 10-16-2020

PLANS PREPARED FOR:

**TEBO DEV. CO**

3111 28TH STREET
BOULDER, CO 80301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pwnarchitects.com



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# Page: 2

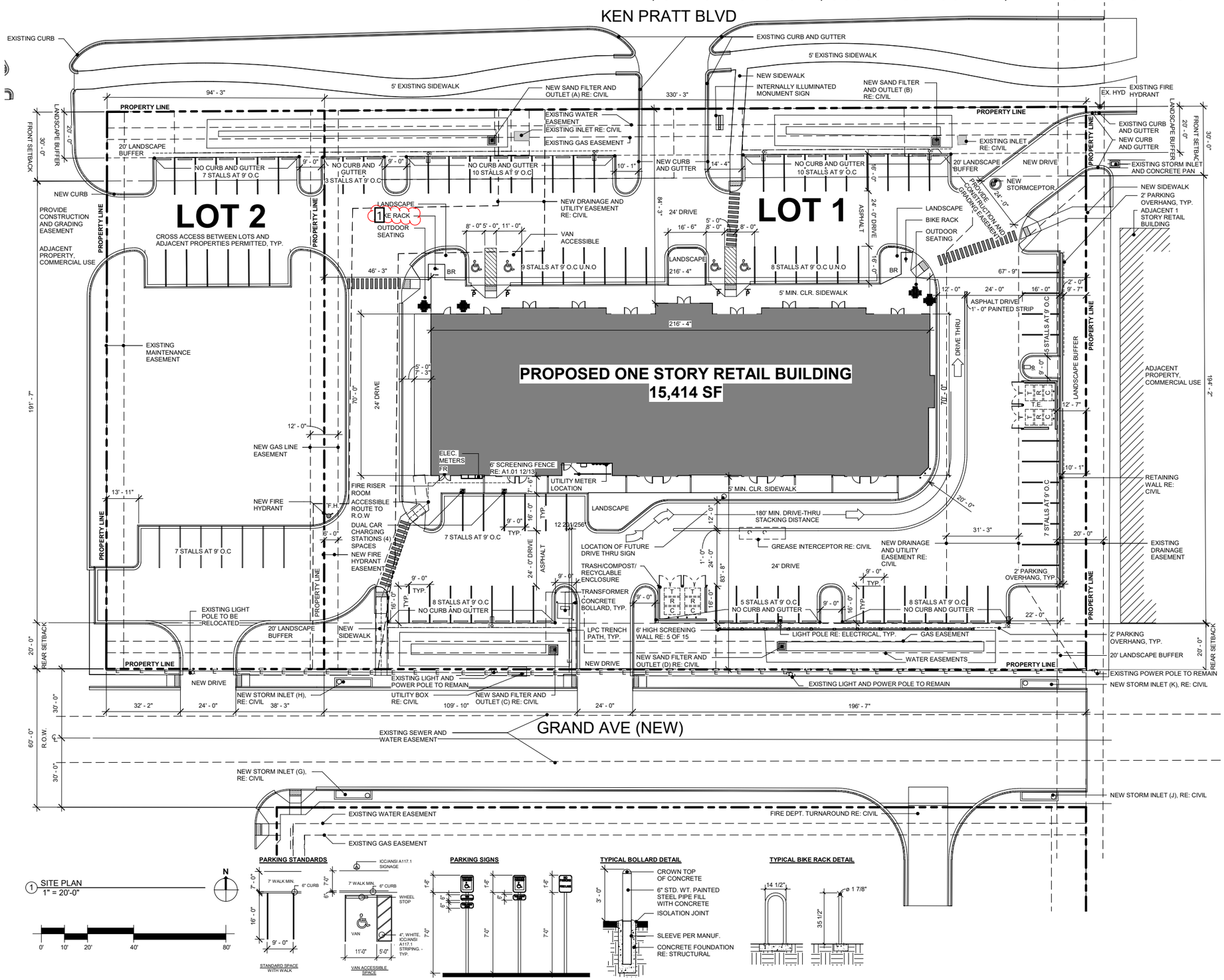
Number: 1 Author: NELSONMC Subject: Oval Date: 12/7/2020 5:17:45 PM

Address status of this existing water service line. The utility plan indicates a new service line being installed and this existing service line is to be removed? Please clarify.

# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# SITE PLAN

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO




1 SITE PLAN
1" = 20'-0"

0' 10' 20' 40' 80'




| | | | |
|---|---|---|---|
| | HANDICAP PARKING SPACE | | TRANSFORMER |
| | ACCESSIBLE PATH TO R.O.W | | ADA ACCESS ROUTES |
| | ACCESSIBLE CURB RAMP | SS | STOP SIGN |
| | RESERVED HANDICAP PARKING SIGN | SB | LIGHT FIXTURE (SB) |
| BR | BIKE RACK | SD | LIGHT FIXTURE (SD) |
| F.H. | FIRE HYDRANT | A | LIGHT FIXTURE (A) |
| FL | FIRE LANE SIGN LOCATION TO BE COORDINATED WITH LONGMONT TRAFFIC ENGINEER (SEE DETAILS) | B | LIGHT FIXTURE (B) |
| ELEC. | LOCATION OF ELECTRICAL METERS | C | LIGHT FIXTURE (C) |
| F.R. | FIRE RISER ROOM W/ APPROVED KNOX BOX | SC | LIGHT FIXTURE (SC) |
| | LIGHT FIXTURE (SA) | | TURN ARROW |
| | 2 HR FIRE SEPARATION WALL | | RETAINING WALL |
| | EXISTING TREE, NONE TO REMAIN | | EXIST. LIGHT POLE TO REMAIN |
| | | EX. HYD | EXIST. FIRE HYDRANT |
| | | EB | EXIST. ELECTRICAL BOX |
| | | | EXIST. TRANSFORMER |
| | | | CURB CHASE |
| | | | TRAIL XING SIGN |
| | | E | LPC TRENCH PATH |

## LPC NOTES

A. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING UTILITY LOCATES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987.
B. IF JOINT TRENCH IS REQUIRED WITH LPC IT IS THE DEVELOPER'S/ CONTRACTOR'S RESPONSIBILITY TO COORDINATE.
C. LPC ELECTRIC FACILITIES CANNOT BE FENCED IN, WHICH INCLUDES TRANSFORMERS, JUNCTION FACILITIES, AND ELECTRIC METERS.
D. ARCHITECTURAL FEATURES SUCH AS PORCHES, OVERHANGS, CANTILEVERS, AND WINDOW WELLS ARE NOT PERMITTED IN LPC EASEMENTS.
E. BADGING OF SINGLE, COMMERCIAL AND MULTIPLE METER SOCKETS ARE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY. EACH METER OF A MULTIPLE METER SOCKET AND ALL INDIVIDUAL METER SOCKETS WILL HAVE A PERMANENT PHENOLIC BADGE SHOWING WHICH HOME, APARTMENT, OFFICE, UNIT OR ROOM IS METERED BY EACH METER.
F. SERVICE LINES FROM THE CONNECTION POINT ON THE TRANSFORMER TO THE METERING EQUIPMENT IS INSTALLED, OWNED AND MAINTAINED BY THE OWNER.
G. METERING EQUIPMENT IS OWNED AND MAINTAINED BY THE OWNER AND SHALL MEET LPC'S SPECIFICATIONS.
H. CONCRETE TRANSFORMER PADS ARE PROVIDED BY THE DEVELOPER/CONTRACTOR. THE OWNERSHIP AND MAINTENANCE OF THE PAD IS THE LANDOWNER'S RESPONSIBILITY.
I. LPC PROVIDES FIBER OPTIC BROADBAND SERVICES AND WILL BE BRINGING COMMUNICATIONS ADJACENT TO THE TRANSFORMER. LPC RECOMMENDS THAT THE DEVELOPER INSTALL A CONDUIT (NO SMALLER THAN 2") BETWEEN THE LPC JUNCTION BOX AND THE BUILDINGS ELECTRIC SERVICE OR COMMUNICATIONS ROOM TO PROVIDE FOR FUTURE BROADBAND NEEDS. IF YOU HAVE ANY QUESTIONS REGARDING NEXTLIGHT, CONTACT OUR COMMERCIAL BROADBAND SALES COORDINATOR, JONATHAN KEEN AT (303) 651-8455.
J. THE CONTRACTOR SHALL ORGANIZE THE UTILITY CONSTRUCTION FROM DEEPEST TO SHALLOWEST; THIS INCLUDES PRIVATE LIGHTING AND IRRIGATION. SHOULD LPC MOBILIZE FOR CONSTRUCTION EFFORTS AND FIND CONFLICTS WITH SHALLOW INSTALLATIONS, THE SCOPE OF THE PROJECT MAY REQUIRE EXTRA CHARGES.
K. WHEN EXISTING UNDERGROUND LPC ELECTRIC CABLES RUN NEAR THE PROJECT WORK AREA, THEY CANNOT BE DE-ENERGIZED FOR CROSSING PURPOSES. THE CONTRACTOR MUST TAKE ALL PRECAUTION NECESSARY TO PREVENT DAMAGE TO THE CABLES OR INJURY TO THE CONSTRUCTION CREW. SHOULD THE CONTRACTOR DAMAGE THESE FACILITIES, CONTACT LONGMONT POWER & COMMUNICATIONS IMMEDIATELY AT 651-8386. LONGMONT POWER & COMMUNICATIONS WILL REPAIR THE FACILITIES AND BILL THE DEVELOPER FOR ALL ASSOCIATED COSTS.
L. WHERE LONGMONT POWER & COMMUNICATIONS OVERHEAD FACILITIES EXIST IN THE DEVELOPMENT AREA, THE CONTRACTOR MUST KEEP ALL EQUIPMENT OPERATION A MINIMUM OF 10 FEET FROM EXISTING OVERHEAD ELECTRIC LINES. IF THIS IS NOT FEASIBLE, OR CONDITIONS WARRANT ADDITIONAL PROTECTION OR POLE STABILIZATION, THE CONTRACTOR MUST CONTACT THE LPC OPERATIONS CONSTRUCTION COORDINATOR AT 651-8386. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE PROTECTIVE COVERING AND OR POLE STABILIZATION, 48 HOURS IN ADVANCE. SHOULD THE ELECTRIC FACILITIES BE DAMAGED, THE CONTRACTOR MUST CONTACT LPC AT 651-8386. ADDITIONALLY, ALL COSTS ASSOCIATED WITH REPAIRS WILL BE THE RESPONSIBILITY OF THE DEVELOPER.
M. FOR COST EFFECTIVENESS, STREETS, PARKING SURFACES AND SIDEWALKS SHOULD NOT BE PAVED OR CONCRETE PLACED UNTIL THE CONDUIT CROSSING FOR USE BY LONGMONT POWER & COMMUNICATIONS HAS BEEN INSTALLED. THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR INSTALLING SLEEVES UNDER ROADWAYS, CULVERTS, DITCHES, SIDEWALKS AND EXISTING UTILITY FACILITIES FOR THE USE OF LONGMONT POWER & COMMUNICATION'S FACILITIES. NOTIFICATION AND COORDINATION OF THE DITCH CROSSINGS IS A DEVELOPER RESPONSIBILITY. REFER TO SECTION 700 IN THE CITY OF LONGMONT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.

2

3

**AMENDMENT**

| DATE | NO. | DESCRIPTION |
|---|---|---|
| 6/5/20 | 1 | REVISION 1 |
| 10/16/20 | 2 | REVISION 2 |
| | | |
| | | |

SITE PLAN

PROJECT RECORD NUMBER: DV-CUSP-20-00003

DATE PREPARED: 10-16-2020

PLANS PREPARED FOR:

**TEBO DEV. CO**

3111 28TH STREET
BOULDER, CO 80301

SHEET
3 OF 15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# Page: 3

Number: 1 Author: PECHERZEWSKIAM Subject: Polygon Date: 12/10/2020 9:00:50 PM

Re-Label as "2 Bike Racks" to better clarify for the contractor that 2 bike racks are expected at this location. This is consistent with the bike rack amounts depicted in the Landscape Plan.

Number: 2 Author: NELSONEL Subject: Sticky Note Date: 12/4/2020 9:09:43 PM

On the plan label all sand filters per other plans (i.e. add A, B, etc).

Number: 3 Author: NELSONEL Subject: Sticky Note Date: 12/4/2020 9:14:04 PM

On the site plan show and label area inlets.

# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# ELEVATIONS

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO

1 NORTH ELEVATION PLANNING
1/8" = 1'-0"

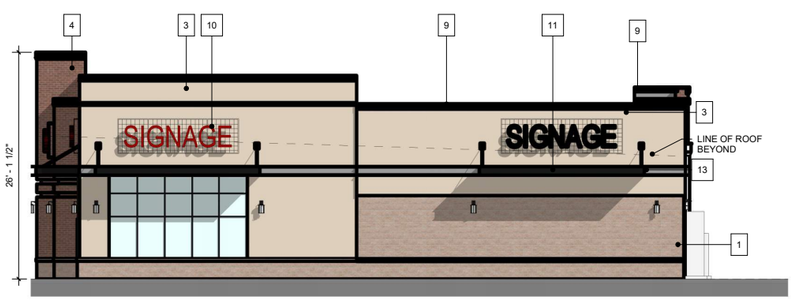
0' 4' 8' 16' 32'

| ELEVATION MATERIAL PERCENTAGES | | |
|---|---|---|
| MATERIAL | AREA | PERCENTAGE |
| STUCCO | 682 SF | 19% |
| BRICK | 960 SF | 27% |
| CMU | 140 SF | 4% |
| GLASS | 1,773 SF | 50% |
| TOTAL | 3,555 SF | 100% |

2 SOUTH ELEVATION PLANNING
1/8" = 1'-0"

0' 4' 8' 16' 32'

| ELEVATION MATERIAL PERCENTAGES | | |
|---|---|---|
| MATERIAL | AREA | PERCENTAGE |
| STUCCO | 641 SF | 21% |
| BRICK | 822 SF | 27% |
| CMU | 1,330 SF | 44% |
| GLASS | 225 SF | 8% |
| TOTAL | 3,018 SF | 100% |




| ELEVATION MATERIAL PERCENTAGES | | |
|---|---|---|
| MATERIAL | AREA | PERCENTAGE |
| STUCCO | 472 SF | 44% |
| BRICK | 0 SF | 0% |
| CMU | 441 SF | 41% |
| GLASS | 155 SF | 15% |
| TOTAL | 1,068 SF | 100% |

3 WEST ELEVATION PLANNING
1/8" = 1'-0"

0' 4' 8' 16' 32'

| ELEVATION MATERIAL PERCENTAGES | | |
|---|---|---|
| MATERIAL | AREA | PERCENTAGE |
| STUCCO | 336 SF | 33% |
| BRICK | 148 SF | 14% |
| CMU | 351 SF | 35% |
| GLASS | 189 SF | 18% |
| TOTAL | 1,024 SF | 100% |

4 EAST ELEVATION PLANNING
1/8" = 1'-0"

0' 4' 8' 16' 32'

**AMENDMENT**

| DATE | NO. | DESCRIPTION |
|---|---|---|
| 6/5/20 | 1 | REVISION 1 |
| 10/16/20 | 2 | REVISION 2 |
| | | |
| | | |

| ELEVATION MATERIAL SCHEDULE | |
|---|---|
| # | Material: Name |
| 1 | CMU - FEATHER LIGHT BLOCK HOLLOMAN BUFF |
| 2 | CMU CAP - FEATHER LIGHT BLOCK HOLLOMAN BUFF |
| 3 | STUCCO - OMEGA FINE SAND GRAIN #9246 |
| 4 | MASONRY - ACME RED BRICK RICHMOND UTILITY STRETCHER |
| 5 | MASONRY - BRICK SOLDIER COURSE |
| 6 | MASONRY - BRICK EBONY |
| 8 | GLAZING - EXTERIOR |
| 9 | METAL - PAINT FINISH - BLACK |
| 10 | METAL - PE TRIM |
| 11 | METAL - ALUMINUM |
| 12 | METAL - STUD LAYER W/ INSULATION |
| 13 | METAL - ALUMINUM, GREY |
| 15 | METAL - GALVENIZED WELDED WIRE MESH |

ELEVATIONS

PROJECT RECORD NUMBER:
DV-CUSP-20-00003

DATE PREPARED: 10-16-2020

PLANS PREPARED FOR:

**TEBO DEV. CO**

3111 28TH STREET
BOULDER, CO 80301

SHEET
4 OF15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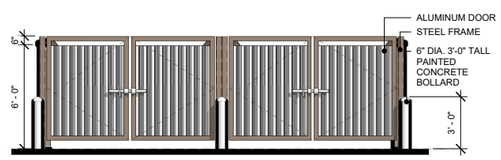
# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

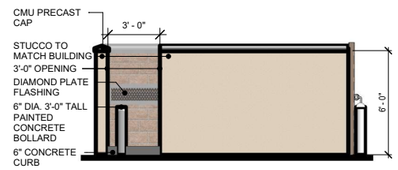
# TRASH ENCLOSURE ELEVATIONS

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO




1 TRASH ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"

| ELEVATION MATERIAL PERCENTAGES | | |
|---|---|---|
| MATERIAL | AREA | PERCENTAGE |
| METAL GATE | 137 SF | 100% |
| TOTAL | 137 SF | 100% |

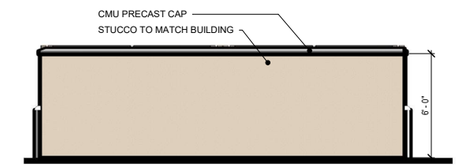



2 TRASH ENCLOSURE SIDE DOOR ELEVATION
1/4" = 1'-0"

| ELEVATION MATERIAL PERCENTAGES | | |
|---|---|---|
| MATERIAL | AREA | PERCENTAGE |
| STUCCO | 92 SF | 100% |
| TOTAL | 92 SF | 100% |

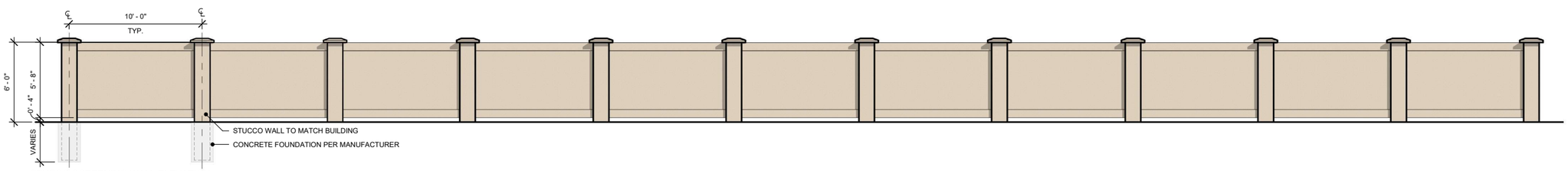
3 TRASH ENCLOSURE SIDE ELEVATION
1/4" = 1'-0"

| ELEVATION MATERIAL PERCENTAGES | | |
|---|---|---|
| MATERIAL | AREA | PERCENTAGE |
| STUCCO | 92 SF | 100% |
| TOTAL | 92 SF | 100% |




4 TRASH ENCLOSURE BACK ELEVATION
1/4" = 1'-0"

| ELEVATION MATERIAL PERCENTAGES | | |
|---|---|---|
| MATERIAL | AREA | PERCENTAGE |
| STUCCO | 137 SF | 100% |
| TOTAL | 137 SF | 100% |




5 STUCCO SCREENING WALL ELEVATION DETAIL
1/4" = 1'-0"

AMENDMENT

| DATE | NO. | DESCRIPTION |
|---|---|---|
| 6/5/20 | 1 | REVISION 1 |
| 10/16/20 | 2 | REVISION 2 |
| | | |
| | | |

TRASH ENCLOSURE ELEVATIONS

PROJECT RECORD NUMBER:
DV-CUSP-20-00003

DATE PREPARED: 10-16-2020

PLANS PREPARED FOR:

**TEBO DEV. CO**

3111 28TH STREET
BOULDER, CO 80301

SHEET
5 OF 15

PWN
Architects & Planners, Inc.
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Denver, CO 80237
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

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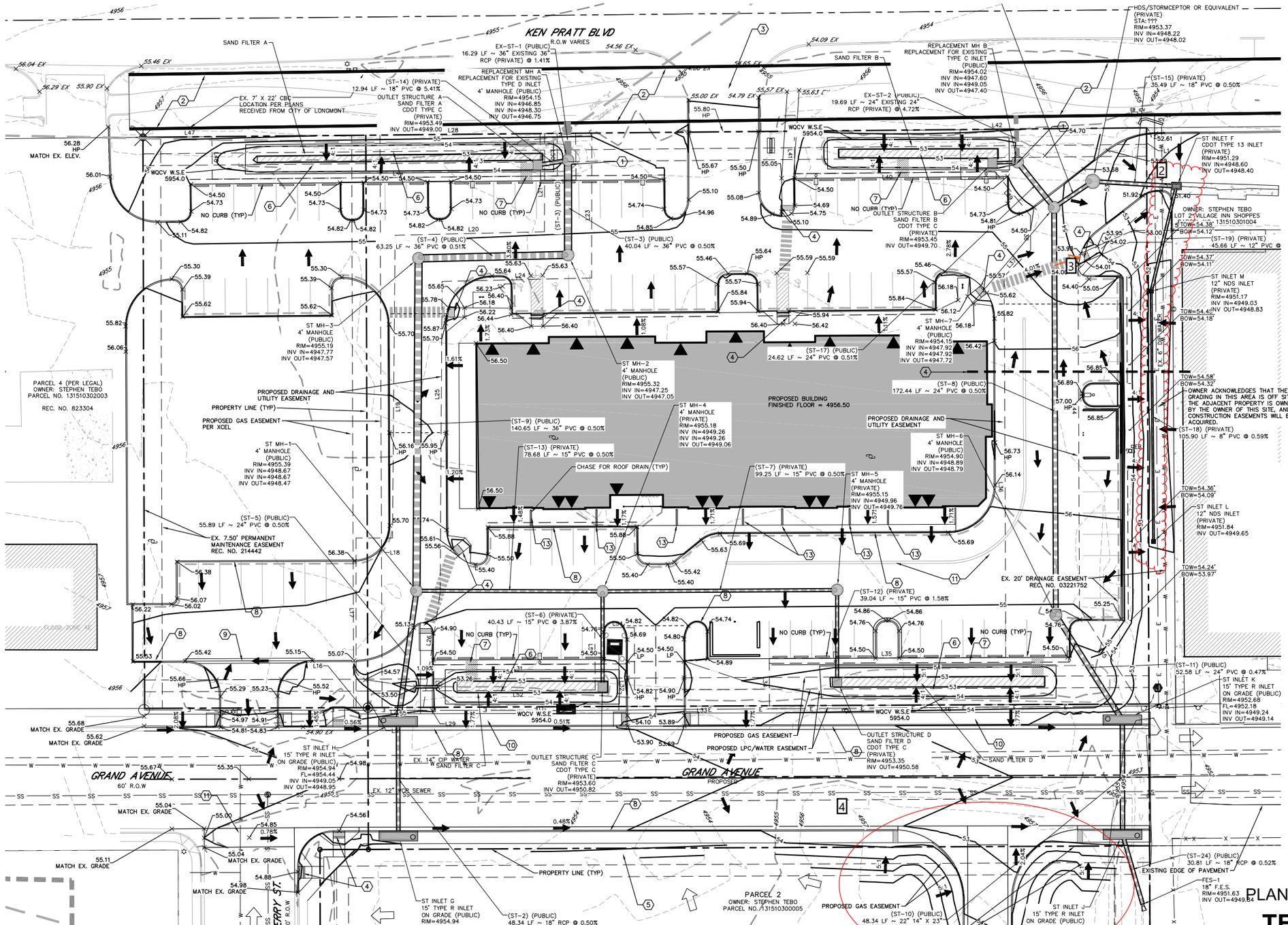
# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# GRADING AND DRAINAGE PLAN

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO




1. GRADE AWAY FROM
LANDSCAPE AREAS
IMPERVIOUS AREAS
2. TOP OF FOUNDATIO
GRADING AT THE E
3. ALL CITY UTILITIES
LONGMONT STANDA
4. THE LOCATION OF
THE TOPOGRAPHIC
LOCATIONS OF THE
SURVEY AND INFOR
OWNER OR UTILITY
RESPONSIBLE FOR
ASSOCIATES, INC.
VERIFIED PRIOR TO
5. GRASS SWALES SH
SHALL DRAIN AT A
EXCEED 4:1 FOR A
OTHER SLOPES SH
MOWED ONLY DURI
6. ALL WALKWAYS SH
REQUIREMENTS, INC
TRANSVERSE GRAD
ADA. ADDITIONALL
AISLES, LANDINGS,
7. ONSITE DRAINAGE
INCLUDES THE SAN
8. PROPOSED STORM
THROUGH THE PRO
CONCRETE CULVER

GRADING
DRAINAG
PROJECT
NUMBER:
DV-CUSP
DATE PRE
06-05-202
PLANS PREPAR

**TEBO DE**

3111 28TH
BOULDER,

# Page: 6

Number: 1 Author: NELSONEL Subject: Sticky Note Date: 12/4/2020 9:15:23 PM

Attach updated sheet per comments made for the same sheet included in master drainage report and final site drainage report.

Number: 2 Author: NELSONMC Subject: Polygon Date: 12/7/2020 4:25:37 PM

Add drainage easement for proposed infrastructure. Add maintenance responsibilities in maintenance notes.

Number: 3 Author: Kevin Subject: Line Date: 11/27/2020 10:09:24 AM

Repeat comment: provide high point so that stormwater is not being directed down the ped walk.
2/100 of an inch is less than standard construction tolerance for flatwork, not sufficient.

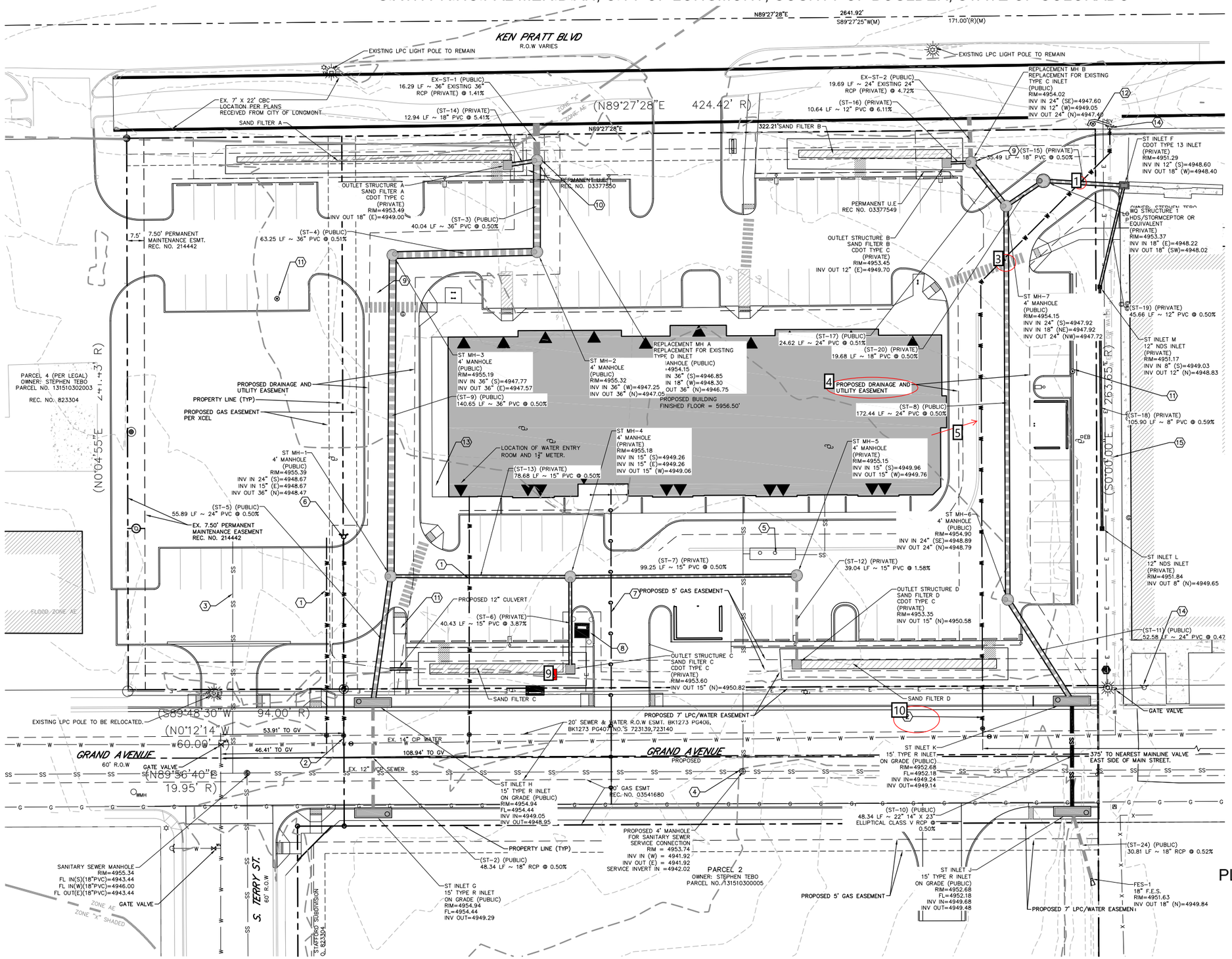
Number: 4 Author: NELSONMC Subject: Oval Date: 12/7/2020 4:27:43 PM

Effects on CLMR to be determined with the PIPs.

# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# UTILITY PLAN

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO




UTILI
PROJECT
NUMBER:
DV-CUSP
DATE PRE
06-05-202

PLANS PREPAR

**TEBO DE**

3111 28TH
BOULDER,

# Page: 7

Number: 1 Author: NELSONMC Subject: Oval Date: 12/8/2020 9:34:23 AM
Add profile for this crossing. minimum 1.5 vertical clearance required.

Number: 2 Author: NELSONMC Subject: Oval Date: 12/7/2020 5:17:45 PM

Number: 3 Author: NELSONMC Subject: Oval Date: 12/8/2020 9:33:50 AM
Add profile for this crossing. minimum 1.5 vertical clearance required.

Number: 4 Author: NELSONMC Subject: Oval Date: 12/8/2020 9:33:50 AM
Include the hydrant service line in its own 20-foot easement. Public and private utilities should not share an easement.

Number: 5 Author: NELSONMC Subject: Line Date: 12/8/2020 9:33:50 AM
Label the distance from the service line to the face of the building. 15 feet minimum separation required.

Number: 6 Author: NELSONMC Subject: Oval Date: 12/7/2020 5:17:45 PM
Address in the demolitions sheet.

Number: 7 Author: NELSONEL Subject: Line Date: 12/4/2020 9:19:18 PM
Update note 4 & 6 per comments made for he same notes included on drainage and grading plan in drainage report.

Number: 8 Author: NELSONEL Subject: Sticky Note Date: 12/4/2020 9:19:18 PM
Update storm sewer alignment, information as needed per comments made for drainage reports.

Number: 9 Author: HOODJ Subject: Sticky Note Date: 12/2/2020 1:31:28 PM
To alleviate some confusions between the CUSP & PIP, we feel that it may be beneficial to remove LPC's design within the CUSP and only show it in the PIP. This should eliminate any conflicting details between the two documents.

Number: 10 Author: NELSONMC Subject: Oval Date: 12/8/2020 9:30:35 AM
Provide a 20 foot easement for the relocated hydrant service line.

# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# LANDSCAPE SCHEDULE & NOTES

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO

## PLANT SCHEDULE:

| SYMBOL | TAG | QTY | COMMON NAME | BOTANICAL NAME | SIZE | HT | WIDTH | HYDRO - ZONE | NOTES | % |
|---|---|---|---|---|---|---|---|---|---|---|
| **DECIDUOUS CANOPY TREES** | | | | | | | | | | |
| | ACE | 2 | ACCOLADE ELM | ULMUS MORTON 'ACCOLADE' | 2"CAL. | 50 | 30 | M-H | B&B | 8% |
| | HAC | 2 | HACKBERRY | CELTIS OCCIDENTALIS | 2"CAL. | 50 | 45 | M-H | B&B | 8% |
| | IMP | 2 | IMPERIAL HONEYLOCUST | GLEDITSIA TRIACANTHOS INERMIS IMPERIAL' | 2"CAL. | 35 | 25 | M-H | B&B | 8% |
| | KCT | 2 | KENTUCKY COFFEETREE | GYMNOCLADUS DIOICUS | 2"CAL. | 60 | 45 | M-H | B&B | 8% |
| | NRO | 1 | NORTHERN RED OAK | QUERCUS RUBRA | 2"CAL. | 50 | 40 | M-H | B&B | 4% |
| | AGG | 3 | AUTUMN GOLD GINKGO | GINKGO BILOBA 'AUTUMN GOLD' | 2"CAL. | 40 | 30 | M-H | B&B | 12% |
| | SKY | 1 | SKYLINE HONEYLOCUST | GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' | 2"CAL. | 50 | 35 | M-H | B&B | 4% |
| | Subtotal | 13 | | | | | | | | |
| **ORNAMENTAL TREES** | | | | | | | | | | |
| | JLI | 3 | IVORY SILK JAPANESE LILAC | SYRINGA RETICULATA 'IVORY SILK' | 1-1/2" CAL | 20 | 15 | M | B&B | 12% |
| | TCH | 1 | THORNLESS COCKSPUR HAWTHORN | CRATAEGUS CRUS GALLII 'INERMIS' | 1-1/2" CAL | 15 | 15 | M | B&B | 4% |
| | Subtotal | 4 | | | | | | | | |
| **EVERGREEN TREES** | | | | | | | | | | |
| | VWF | 2 | VANDERWOLF'S PINE | PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' | 6' HT | 25 | 15 | L-M | B&B | 8% |
| | LBP | 3 | LIMBER PINE | PINUS FLEXILIS | 6' HT | 35 | 15 | L-M | B&B | 12% |
| | GGJ | 4 | GRAY GLEAM JUNIPER | JUNIPERUS SCOPULORUM 'GRAY GLEAM' | 6' HT | 15 | 5 | L-M | B&B | 15% |
| | Subtotal | 9 | | | | | | | | |
| **DECIDUOUS SHRUBS** | | | | | | | | | | |
| | BMS | 17 | BLUE MIST SPIREA | CARYOPTERIS X CLANDONENSIS 'BLUE MIST' | 5 GAL. | 3 | 3 | L-M | | 7% |
| | CSR | 47 | CAREFREE SUNSHINE ROSE | ROSA 'CAREFREE SUNSHINE ROSE' | 5 GAL. | 3 | 3 | M | | 20% |
| | GFS | 15 | 'GOLDFLAME' SPIREA | SPIREA JAPONICA 'GOLDFLAME' | 5 GAL. | 3 | 3 | M | | 6% |
| | KOR | 55 | KNOCK OUT PINK ROSE | ROSA 'KNOCK OUT PINK ROSE' | 5 GAL. | 2.5 | 2.5 | M | | 24% |
| | KSV | 4 | KOREAN SPICE VIBURNUM | VIBURNUM CARLESII | 5 GAL. | 6 | 6 | M-H | | 2% |
| | PML | 18 | MEYER LILAC | SYRINGA MEYERI 'PALIBIN' | 5 GAL. | 5 | 5 | M | | 15% |
| | RTD | 57 | ISANTI DOGWOOD | CORNUS SERICEA 'ISANTI' | 5 GAL. | 5 | 5 | M | | 24% |
| | WSC | 21 | WESTERN SAND SHERRY | PRUNUS BESSEYI | 5 GAL. | 5 | 5 | L-M | | 9% |
| | Subtotal | 234 | | | | | | | | |
| **GROUNDCOVER SHRUBS** | | | | | | | | | | |
| | ARJ | 117 | ARCADIA JUNIPER | JUNIPERUS SABINA 'ARCADIA' | 5 GAL. | 2 | 6 | L-M | | 35% |
| | BHJ | 78 | BAR HARBOR JUNIPER | JUNIPERUS HORIZONTALIS 'BAR HARBOR' | 5 GAL. | 1 | 6 | L-M | | 23% |
| | CCJ | 5 | CALGARY CARPET JUNIPER | JUNIPERUS SABINA 'CALGARY CARPET' | 5 GAL. | 1 | 6 | L-M | | 1% |
| | HCS | 8 | HANCOCK CORALBERRY | SYMPHORICARPOS X CHENAULTII 'HANCOCK' | 5 GAL. | 3 | 5 | L-M | | 2% |
| | PBC | 103 | CREEPING WESTERN SAND CHERRY | PRUNUS BESSEYI 'PAWNEE BUTTES' | 5 GAL. | 2 | 5 | L-M | | 31% |
| | PWJ | 26 | PRINCE OF WALES JUNIPER | JUNIPERUS HORIZONTALIS 'PRINCE OF WALES' | 5 GAL. | 1 | 8 | L-M | | 8% |
| | Subtotal | 337 | | | | | | | | |
| **PERENNIALS** | | | | | | | | | | |
| | BE | 30 | BLACK EYED SUSAN | RUDBECKIA FULGIDA 'GOLDSTRUM' | 1 GAL. | 2 | 2 | L-M | 18" O.C. | |
| | MN | 30 | MAY NIGHT SALVIA | SALVIA NEMEROSA 'MAY NIGHT' | 1 GAL. | 2 | 2 | M | 18" O.C. | |
| | Subtotal | 60 | | | | | | | | |
| **ORNAMENTAL GRASSES** | | | | | | | | | | |
| | BAG | 33 | BLUE AVENA GRASS | HELICTOTRICHON SEMPERVIRENS | 1 GAL. | 4 | 3 | L-M | | |
| | BBG | 9 | BIG BLUESTEM GRASS | ANDROPOGON GERARDII | 1 GAL. | 6 | 3 | L-M | | |
| | BLA | 61 | BLONDE AMBITION GRASS | BOUTELOUA GRACILIS 'BLONDE AMBITION' | 1 GAL. | 2.5 | 2 | L-M | | |
| | FRG | 57 | FEATHER REED GRASS | CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER' | 1 GAL. | 4 | 3 | L-M | | |
| | LBG | 60 | LITTLE BLUESTEM GRASS | SCHIZACHYRIUM SCOPARIUM 'BLAZE' | 1 GAL. | 3 | 3 | L-M | | |
| | PDG | 5 | PRAIRIE DROPSEED GRASS | SPOROBOLUS HETEROLEPIS | 1 GAL. | 3 | 3 | L-M | | |
| | SWG | 167 | SWITCHGRASS | PANICUM VIRGATUM 'HEAVY METAL' | 1 GAL. | 5 | 3 | L-M | | |
| | Subtotal | 392 | | | | | | | | |

SAND FILTER (SEE CIVIL)

NATIVE GRASS SEED (VERY LOW WATER USE)

## EXISTING TREES

DECIDUOUS TREE (TO REMAIN)

## GENERAL NOTES:

1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
2. OWNERS REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
3. PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL TOWN INSPECTION.
4. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
5. ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
6. TREE LOCATIONS, TREE SPECIES, AND TOTAL PLANT QUANTITIES SHALL NOT BE MODIFIED WITHOUT CITY APPROVAL. MINOR SPECIES / LOCATION CHANGES IN SHRUB / ORNAMENTAL GRASS / PERENNIALS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
7. PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROIGHLY LOOSENED.
8. ALL LAND NOT COVERED BY IMPERMEABLE SURFACES ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 3 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 2 FEET ADJACENT TO BUILDINGS.
9. ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH ROCK MULCH OVER SPECIFIED GEO-TEXTILE WEED CONTROL FABRIC. ROCK MULCH SHALL BE 3"-6" COBBLE IN A 4' WIDTH STRIP ALONG GRAND AVE. SIDEWALK AND ALL OTHER ROCK MULCH AREAS SHALL BE 1-1/2" 'INDIAN SUNSET' CRUSHED ROCK OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE SAMPLES OF ROCK MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLES. CUT WEED CONTROL FABRIC AROUND INDIVIDUAL PLANTS TO ALLOW FOR FULL GROWTH OF EACH PLANT. ALL PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH SHREDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
10. SHRUB BEDS ARE TO BE CONTAINED BY EDGING 5.5" MIN. DEPTH, ( PERMALOCK ALUMINUM 'CLEANLINE', CONCRETE MOWCURB OR EQUAL). EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, OR WALKS. MATERIAL TO BE APPROVED BY OWNER.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DISTURBED LANDSCAPE AREAS ADJACENT TO THE PROJECT SHALL SHALL BE REVEGETATED. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
12. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
14. LANDSCAPE TO BE INSTALLED PER CITY STANDARDS AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
15. ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
16. ALL SODDED, AND SEEDED AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM, AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS. ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
17. KEEP ALL TREES MINIMUM 10 FT CLEAR FROM WATER, SANITARY SEWER MAINS, PUBLIC STORM LINES AND 4 FT CLEAR FROM ELECTRIC, FIBER OPTIC LINES AND 5 FT FOR PRIVATE DRAINS. TREES SHALL NOT BE ALLOWED TO BE PLANTED OVER THE PIPELINE(S) WITHIN THE PSCO ROW LIMITS AND SHALL BE NO CLOSER THAN FIFTEEN (15) FEET FROM THE OUTSIDE WALL OF THE PIPE.
18. LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER; AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH; FERTILIZING; PRUNING, AND WEEDING IN ALL LANDSCAPED AREAS.
19. SINGLE TRUNK TREES ALONG SIDEWALKS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION. SHRUBS WITHIN THE SIGHT DISTANCE TRIANGLE NEED TO BE MAINTAINED AT A HEIGHT LESS THAN 30 INCHES.
20. CONTRACTOR TO REMOVE ANY EXISTING GRASS, ROCK MULCH & SHRUBS. REMOVE TREES PER PLAN NOTES ONLY. THE SOD AND TREES IN THE ROW ALONG KEN PRATT ARE TO REMAIN UNLESS NOTED.
21. CONTRACTOR SHALL TILL OR REPLACE COMPACTED SOIL IN PREVIOUS VEHICLE LOT/DRIVE PLANTING AREAS TO A DEPTH OF 30 INCHES.
22. A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE SCOTT COX & ASSOCIATES, INC. PROJECT NO. 184255 , OCTOBER 16, 2018 SITE DRAINAGE CONSIDERATIONS #5. "NO IRRIGATION WITHIN FIVE FEET OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS."
23. TOE OF SLOPE ADJACENT TO SIDEWALKS SHALL HAVE A MINIMUM ONE FOOT (1') LANDING TO MITIGATE WATER RUNOFF AND SHALL NOT EXCEED 6:1.

## LANDSCAPE STATEMENT:

1. THE LANDSCAPE DESIGN INTENT IS TO USE WATER WISE PLANT AND GROUP PLANTS ACCORDING TO THEIR WATER NEEDS. TREES AND SHRUBS NOT IN THE TURF AREAS ARE MULCHED TO CONSERVE WATER. A MIXTURE OF DECIDUOUS AND EVERGREEN SHRUB GROUNDCOVERS IS USED THROUGHOUT THE SITE.

## CITY OF LONGMONT NOTES:

1. THE PROPERTY OWNER SHALL BE THE RESPONSIBLE ENTITY FOR ON-GOING MAINTENANCE FOR RIGHTS-OF-WAYS, ON-SITE IMPROVEMENTS (COMMON OPEN SPACE), AND DETENTION POND. MAINTENANCE SHALL INCLUDE ALL REASONABLE AND REGULAR: IRRIGATION; WEED CONTROL; FERTILIZING; PRUNING; TRASH REMOVAL; CONCRETE PATH SNOW AND ICE REMOVAL; TREATMENT OF PLANT MATERIALS THAT SHOW SIGNS OF INSECT PESTS, DISEASES OR DAMAGE; AND REPLACEMENT OF DEAD OR DAMAGED PLANT MATERIAL TO MAINTAIN APPROVED LANDSCAPE PLAN.
2. THE DEVELOPER SHALL INSTALL LANDSCAPING AND IRRIGATION ACCORDING TO THE MOST CURRENT LANDSCAPE REGULATIONS AND STANDARDS AND SPECIFICATIONS IN EFFECT AT THE TIME OF CONSTRUCTION.
3. POTABLE CITY WATER WILL BE USED AS A SOURCE FOR IRRIGATION SYSTEMS. SEE IRRIGATION PLANS FOR THE TAP AND BACKFLOW PREVENTION DEVICE SIZE AND LOCATION. THE TAP IS NOT ELIGIBLE FOR A FEE WAIVER.
4. LOCATION OF LANDSCAPE MATERIAL SHALL BE ALTERED TO PROVIDE ADEQUATE CLEARANCE FROM THE FINAL LOCATION OF THE ELECTRIC DISTRIBUTION FACILITIES TO THE SATISFACTION OF LONGMONT POWER & COMMUNICATIONS.
5. INSTALLATION OF THE LANDSCAPING WITHIN THE ROW, ELECTRIC EASEMENTS AND IN THE VICINITY OF THE ON SITE ELECTRIC DISTRIBUTION SYSTEM CANNOT BEGIN UNTIL THE INSTALLATION OF LONGMONT POWER & COMMUNICATION'S FACILITIES IS COMPLETE.
6. ALL LANDSCAPING, IRRIGATION, FENCING AND RETAINING WALLS MAINTENANCE FOR THE DEVELOPMENT IS AT THE COST OF THE PROPERTY OWNER.
7. INSTALLATION OF THE LANDSCAPING WITHIN THE ROW, ELECTRIC EASEMENT AND IN THE VICINITY OF THE ON-SITE ELECTRIC DISTRIBUTION SYSTEM CANNOT BEGIN UNTIL THE INSTALLATION OF LONGMONT POWER & COMMUNICATIONS FACILITIES IS COMPLETE. EXPENSES FOR ANY REPAIRS OF LANDSCAPING DUE TO THE ELECTRIC INSTALLATION WILL NOT BE THE RESPONSIBILITY OF THE CITY.
8. LANDSCAPING IS TO MAINTAIN 3FT OF CLEARANCE ON THE SIDES AND BACK, AND 10FT OF CLEARANCE IN THE FRONT OF LPC'S EQUIPMENT (TRANSFORMERS/SWITCHES/VAULTS). IN ADDITION, ANY DEEP ROOTED TREES MUST MAINTAIN 3 FT OF CLEARANCE FROM ANY OF LPC'S UNDERGROUND INFRASTRUCTURE (CABLES/CONDUITS). LOCATION OF LANDSCAPE MATERIAL MAY BE ALTERED TO PROVIDE ADEQUATE CLEARANCE FROM THE FINAL LOCATION OF THE ELECTRIC DISTRIBUTION FACILITIES TO THE SATISFACTION OF LONGMONT POWER & COMMUNICATIONS. REFER TO DETAILS 700-01 TRENCH CLEARANCES AND 700-02 EQUIPMENT CLEARANCES OF THE CITY OF LONGMONT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
9. THE 2 EXISTING SIBERIAN ELMS TREES INTERIOR TO THE PROPERTY WILL BE REMOVED AND DO NOT REQUIRE MITIGATION.
10. ALL EXISTING TREES IN THE KEN PRATT BLVD ROW SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE OR LOSS OF THESE TREES SHALL BE MITIGATED AS DETERMINED BY THE CITY FORESTER.

**LANDSCAPE REQUIREMENTS**

| Description | Square Footage | Min.Width | Provided Width | Trees Required 1/750 SF | Linear Feet | Trees Required 1/30 LF | Trees Required 1/50 LF | Trees Provided | Shrubs Required 5/50 LF | Shrubs Required 5/30 LF | Shrubs Required 5/750 SF | Shrubs Provided |
|---|---|---|---|---|---|---|---|---|---|---|---|---|
| Parking Lot Perimeter (Ken Pratt Blvd.) | N.A. | 10' | 20' | N.A. | 270 | 9 | N.A. | 6 | N.A. | 27 | N.A. | 165 |
| Parking Lot Perimeter (East side) | N.A. | 10' | 10' | N.A. | 117 | 4 | N.A. | 4 | N.A. | 12 | N.A. | 48 |
| Parking Lot Perimeter (Grand Ave.) | N.A. | 10' | 19.9' | N.A. | 198 | 7 | N.A. | 2 | N.A. | 20 | N.A. | 148 |
| Arterial buffer 20' (Ken Pratt Blvd.) | 7,447 | 20' | 20' | 10 | N.A. | N.A. | N.A. | 6 | N.A. | N.A. | 50 | 165 |
| Non-arterial buffer 20' (Grand Ave.) | 7,234 | 20' | 19.9' | 10 | N.A. | N.A. | N.A. | 2 | N.A. | N.A. | 48 | 148 |
| R.O.W. (Ken Pratt Blvd.) | 10,056 | N.A. | N.A. | N.A. | 394 | N.A. | 8 | 18 | N.A. | N.A. | N.A. | 0 |
| R.O.W. (Grand Ave. Local | 1,455 | N.A. | N.A. | N.A. | 374 | N.A. | 7 | 0 | N.A. | N.A. | N.A. | 37 |
| Sand Filter/WQ Perimeter | N.A. | N.A. | N.A. | N.A. | 699 | N.A. | 14 | 7 | 70 | N.A. | N.A. | 130 |

**SITE DATA TABLE**

| Site Data | Actual SF | % Required | % P |
|---|---|---|---|
| Gross Site Area: | 103,077 | N.A. | |
| Building Coverage: | 15,575 | N.A. | |
| Hard Surface Area: | 55,501 | N.A. | |
| Total Landscaped Area (Excluding R.O.W.) | 32,001 | N.A. | |
| Landscaped Area (Shrubs, Perennials, Ornamental Grasses) | 20,630 | N.A. | N.A |
| Native Grass | 11,371 | N.A. | N.A |
| R.O.W. Ex Irrigated Grass | 10,056 | N.A. | N.A |
| R.O.W. Landscaped Area (Shrubs, Perennials, Ornamental Grasses) | 1,053 | N.A. | N.A |
| Native Grass (West Side off-property) | 893 | N.A. | N.A |
| Landscaped Area (West Side off-property) (Shrubs, Perennials, Ornamental Grasses) | 404 | N.A. | N.A |

**City of Longmont Tap Sizing**

| SF | GALLONS PER CF PER WEEK | DAYS PER WEEK | HOURS PER DAY | GALLONS P MIN |
|---|---|---|---|---|
| 34,351 | 32,118 | 5 | 7 | |

Tap size should then be the same as the smallest copper pipe (Type K) that w not exceed seven (7) feet per second.
'A 1" Inch tap will serve the project.'

## SEED NOTES:

SEED SHALL BE INSTALLED WHEN AT LEAST 3 MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN 3 MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SH IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER.
ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROMULC APPLIED OVER THE SEED BED AFTER SEEDING.

| HYDROMULCH MIX | |
|---|---|
| WOOD FIBER MULCH | 46 |
| 15-15-15 ORGANIC FERTILIZER | 9 |
| ORGANIC BINDER/TACKIFIER | 4 |

**NATIVE GRASS SEED MIX**
**(IRRIGATED UNTIL ESTABLISHMENT)**
**PAD SITE: MIX- DRILL SEEDED**
**(INCREASE SEED RATE 2X PLS FOR BROADCAST)**

| COMMON NAME | PLS PER ACRE | HEIGHT/FT |
|---|---|---|
| SLENDER WHEATGRASS V. SAN LUIS | 8.22 | 1 |
| WESTERN WHEATGRASS V. ARRIBA | 11.88 | 2 |
| TOTAL LBS PER ACRE | 20.1 | |

COVE
PROJECT RECORD
DV-CUSP-
DATE PREPARED: 06
PLANS PREPAR

**TEBO DE**

3111 28TH
BOULDER,

# Page: 1

Number: 1 Author: Kevin Subject: Sticky Note Date: 11/27/2020 10:20:48 AM

Repeat comment: For all code deficiencies, identify them individually and reference the variance and design exception requests.

These plans remain silent about the variance/modification requests - they should be clearly noted on the plans. Provide a key for each deficiency in this table and add notes below it citing each of the variances/ modifications requested. Or add to this sheet the table which was provided in the letter.

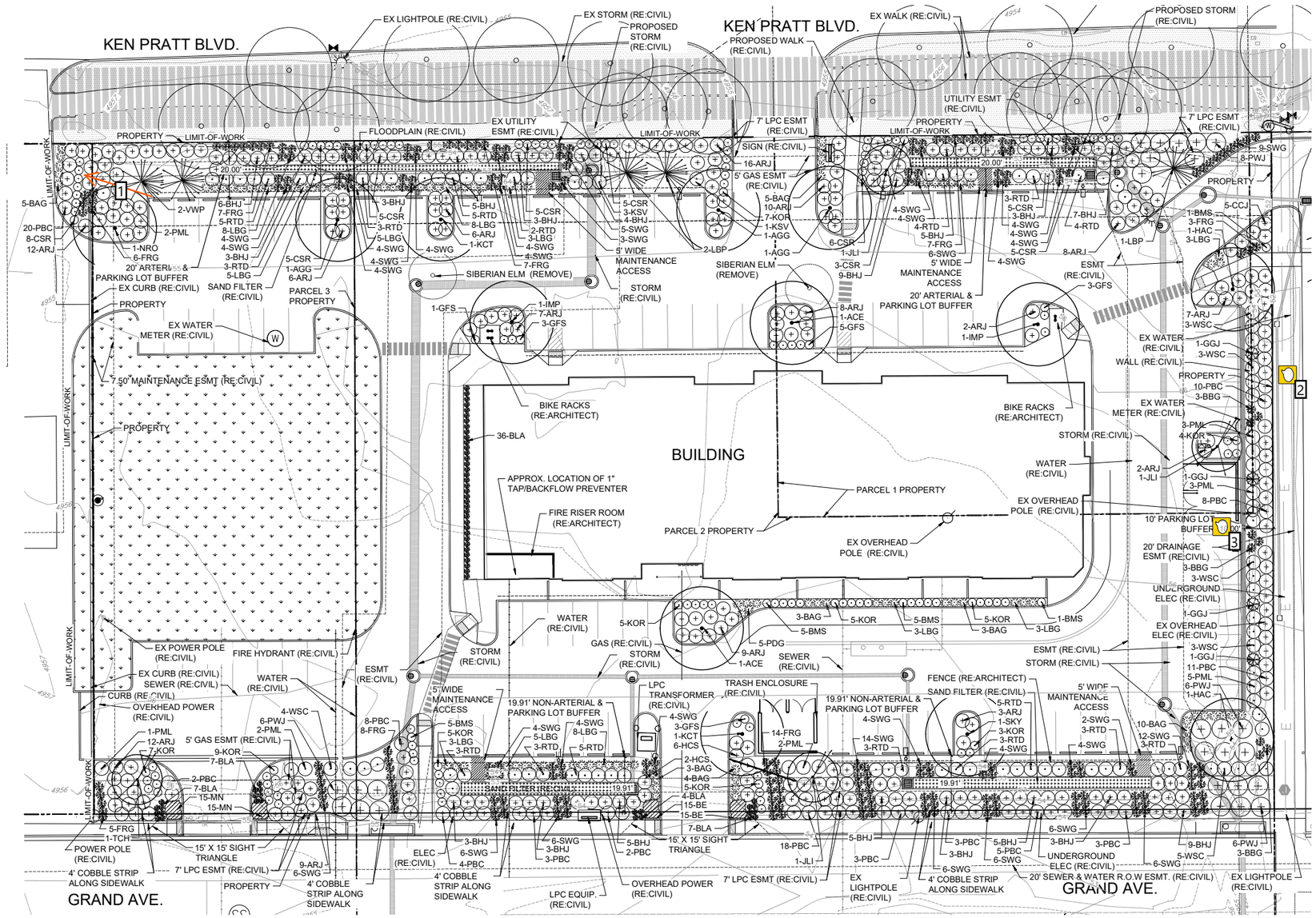
Number: 2 Author: Kevin Subject: Line Date: 11/27/2020 10:26:27 AM

See plan comment - a buffer tree was deleted at west end - why? Expectation is to minimize the deficiencies of buffer landscaping.

# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# LANDSCAPE PLAN

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO




0 10' 20' 40'

SCALE - 1" = 20'

NORTH

*PARTIAL PLANT SCHEDULE (SEE SHEET 12 FOR COMPLETE SCHEDULE)

PLANT SCHEDULE:

| SYMBOL | TAG | QTY | COMMON N |
|---|---|---|---|
| DECIDUOUS CANOPY TREES | | | |
| | ACE | 2 | ACCOLADE E |
| | HAC | 2 | HACKBERRY |
| | IMP | 2 | IMPERIAL HONEYL |
| | KCT | 2 | KENTUCKY COFFE |
| | NRO | 1 | NORTHERN RED |
| | AGG | 3 | AUTUMN GOLD G |
| | SKY | 1 | SKYLINE HONEYL |
| | Subtotal | 13 | |
| ORNAMENTAL TREES | | | |
| | JLI | 3 | IVORY SILK JAPANE |
| | TCH | 1 | THORNLESS COCKSPUR |
| | Subtotal | 4 | |
| EVERGREEN TREES | | | |
| | VWP | 2 | VANDERWOLF'S |
| | LBP | 3 | LIMBER PIN |
| | GGJ | 4 | GRAY GLEAM JU |
| | Subtotal | 9 | |
| DECIDUOUS SHRUBS | | | |
| | BMS | 17 | BLUE MIST SPI |
| | CSR | 47 | CAREFREE SUNSHI |
| | GFS | 15 | 'GOLDFLAME' SI |
| | KOR | 55 | KNOCK OUT PINK |
| | KSV | 4 | KOREAN SPICE VIB |
| | PML | 18 | MEYER LILA |
| | RTD | 57 | ISANTI DOGWO |
| | WSC | 21 | WESTERN SAND S |
| | Subtotal | 234 | |
| GROUNDCOVER SHRUBS | | | |
| | ARJ | 117 | ARCADIA JUNI |
| | BHJ | 78 | BAR HARBOR JU |
| | CCJ | 5 | CALGARY CARPET |
| | HCS | 8 | HANCOCK CORAL |
| | PBC | 103 | CREEPING WESTERN SA |
| | PWJ | 26 | PRINCE OF WALES |
| | Subtotal | 337 | |
| PERENNIALS | | | |
| | BE | 30 | BLACK EYED SU |
| | MN | 30 | MAY NIGHT SAL |
| | Subtotal | 60 | |
| ORNAMENTAL GRASSES | | | |
| | BAG | 33 | BLUE AVENA GR |
| | BBG | 9 | BIG BLUESTEM G |
| | BLA | 61 | BLONDE AMBITION |
| | FRG | 57 | FEATHER REED G |
| | LBG | 60 | LITTLE BLUESTEM |
| | PDG | 5 | PRAIRIE DROPSEED |
| | SWG | 167 | SWITCHGRAS |
| | Subtotal | 392 | |

SAND FILTER (SEE CIVIL)

NATIVE GRASS SEED (VERY LOW WATER USE)

EXISTING TREES

DECIDUOUS TREE (TO REMAI

COVE

PROJECT RECORD

DV-CUSP

DATE PREPARED: 06

PLANS PREPAR

**TEBO DE**

3111 28TH

BOULDER,

# Page: 2

Number: 1 Author: Kevin Subject: Line Date: 11/27/2020 10:49:28 AM

JLI was deleted, increasing the deficiency of buffer trees. Please restore.

Number: 2 Author: Kevin Subject: Sticky Note Date: 11/27/2020 10:42:33 AM

Repeat comment: Grading plan shows earthwork in adjacent property. All disturbed areas shall be revegetated - please show (or note on plan) restoration work required east of property line.

Number: 3 Author: Kevin Subject: Sticky Note Date: 11/27/2020 10:41:29 AM

Repeat comment: Place all text and dimensions above linework and hatches for legibility.
(There are still contours or other gray lines printing over the callouts)

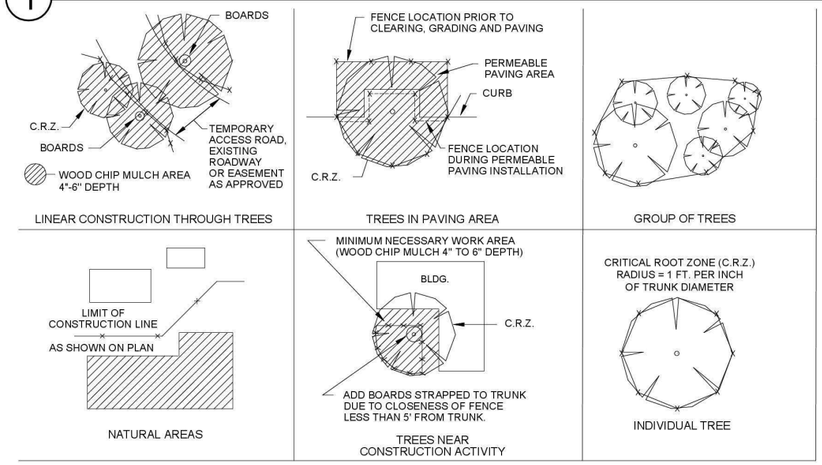
# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

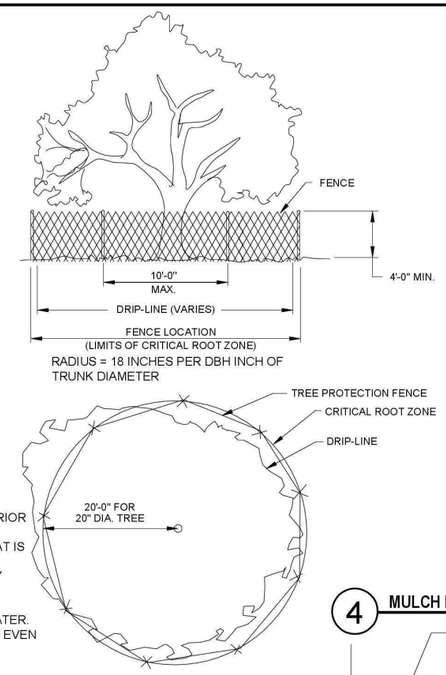
# LANDSCAPE DETAILS

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO

## 1 TREE PROTECTION DETAIL

NTS




**TREE PROTECTION NOTES**

**(1)** SOIL COMPACTION PREVENTION

(A) TO PREVENT SOIL COMPACTION, DESIGNATED ROUTES FOR EQUIPMENT AND FOOT TRAFFIC BY WORK CREWS SHALL BE DETERMINED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES AND INDICATED IN THE LANDSCAPING TREE PROTECTION PLAN.

(B) THESE PLANNED ROUTES SHALL BE MARKED AT THE SITE BEFORE CONSTRUCTION COMMENCES WITH DURABLE FENCING MATERIAL THAT IS AT LEAST 4 FEET HIGH. FLAGGING TAPE OR ANY OTHER MATERIAL THAT MAY BE TORN DOWN, MOVED, OR EVADED IS NOT ACCEPTABLE.

(C) THE CONTRACTOR SHALL INFORM ALL CONSTRUCTION CREW MEMBERS ON THE SITE OF ACCESS ROUTES AND WILL ENSURE THAT ONLY THESE ROUTES ARE USED.

(D) TO PREVENT TREE ROOT SMOTHERING, NO SOIL STOCKPILES, SUPPLIES, EQUIPMENT, OR ANY OTHER MATERIAL SHALL BE PLACED OR STORED WITHIN A TREE DRIPLINE OR WITHIN 15 FEET OF THE TREE TRUNK FOR COLUMN-SHAPED TREES, WHICHEVER DISTANCE IS GREATER.

(E) SOIL AROUND A TREE DRIPLINE MAY BE REQUIRED TO BE AERATED DURING AND AFTER CONSTRUCTION ACTIVITIES. THIS IS NECESSARY EVEN WHEN COMPACTION RESULTS FROM HEAVY FOOT TRAFFIC. A PROFESSIONAL ARBORIST SHALL DO THE VERTICAL AERATION OR SOIL FRACTURING. OIL FRACTURING TECHNIQUES COMPARABLE TO USING A "GROWGUN" WITH ISOLITE MATERIAL ARE ACCEPTABLE. CONVENTIONAL TURF AERATION IS NOT ACCEPTABLE.

(F) WHEN FOOT TRAFFIC OR EQUIPMENT USE IS UNAVOIDABLE WITHIN THE DRIPLINE, THE AREA WITHIN THE DRIPLINE SHALL BE MULCHED WITH WOOD CHIPS TO A DEPTH OF 6 INCHES BEFORE CONSTRUCTION ACTIVITY BEGINS. A 6-INCH MULCH DEPTH SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT, THEN REMOVED WHEN CONSTRUCTION ACTIVITIES ARE COMPLETED.

**(2) ROOT PROTECTION**

(A) TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.

(B) WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN, SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT.

(C) WHENEVER POSSIBLE, TREE ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, WHEN ROOT ENERGY SUPPLIES ARE HIGH AND CONDITIONS ARE LEAST FAVORABLE FOR DISEASE CAUSING AGENTS.

(D) THE OWNER'S REP SHALL BE NOTIFIED OF ANY CUTTING OF THE FOLLOWING ROOTS:

(I) TWO ROOTS HAVING A DIAMETER OF MORE THAN 3 INCHES, OR (II) FOUR ROOTS HAVING DIAMETERS BETWEEN 2 AND 3 INCHES.

(E) TRENCHES SHALL BE HAND-DUG WITHIN THE DRIPLINE IN AREAS WHERE ROOTS 2 INCHES AND LARGER IN DIAMETER ARE PRESENT, AND WHEN LOW BRANCHES WHICH MAY BE DAMAGED BY EQUIPMENT ARE PRESENT.

(F) WHENEVER POSSIBLE, ROOTS 2 INCHES OR LARGER IN DIAMETER SHALL BE TUNNELED OR BORED UNDER AND SHALL BE COVERED TO PREVENT DEHYDRATION. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY WITH SOIL OR BURLAP AND KEPT MOIST.

(G) POWER TOOLS SHALL NOT BE USED TO PRUNE ROOTS, WITH THE EXCEPTION OF ARBORICULTURALLY APPROVED ROOT-CUTTING EQUIPMENT USED UNDER THE SUPERVISION OF THE ARBORIST. ONLY THE FOLLOWING APPROVED TOOLS SHALL BE ACCEPTABLE: SCISSORS-TYPE HAND PRUNERS AND LOPPERS, EXCEPT ANVIL-TYPES, AND ARBORIST-TYPE PRUNING SAWS.

(H) WHEN MORE THAN ONE ROOT 2 INCHES OR LARGER IN DIAMETER ON ANY PUBLIC TREE IS CUT,SUPPLEMENTAL WATERING SHALL BE PROVIDED IF THE TREE LACKS AN OPERATIONAL SPRINKLER SYSTEM. THE APPLICANT OR ABUTTING LANDOWNER SHALL PROVIDE THE WATERING.

(I) SIDEWALK AND PAVING SURFACES SHALL BE SUFFICIENTLY CONTOURED TO AVOID CUTTING SURFACE TREE ROOTS. WHENEVER POSSIBLE, TREE ROOTS SHOULD BE BRIDGED OR FLOATED OVER WITH WALKS.

(J) TO ALLOW MAXIMUM AERATION AND WATER PENETRATION TO ROOTS, WALK MATERIALS OTHER THAN CONCRETE MAY BE SELECTED (E.G., BRICK, FLAGSTONE, HONEYCOMB BLOCK, CHIPS, GRAVEL) SUBJECT TO CITY APPROVAL. UNDER NO CIRCUMSTANCES SHALL IMPERVIOUS MATERIAL MAKE CONTACT WITH OR COMPLETELY ENCIRCLE A TREE TRUNK.

(K) AUGER TUNNELING, NOT TRENCHING, SHALL BE USED WHERE POSSIBLE FOR UTILITY PLACEMENT WITHIN THE DRIPLINE OF A TREE.

(L) IF ROOTS ARE CUT BETWEEN MARCH AND AUGUST, TREES MAY NEED SUPPLEMENTAL DEEP ROOT ARE CUT BETWEEN SEPTEMBER 1 AND OCTOBER 15, TREES MAY NEED SUPPLEMENTAL WATERING ONCE PER WEEK UNTIL AT LEAST OCTOBER 31.

(M) TREE ROOTS SHALL NOT BE FERTILIZED FOR A PERIOD OF 1 YEAR FOLLOWING THE CESSATION OF CONSTRUCTION ACTIVITIES. THEREAFTER, FOR THE NEXT 2 YEARS, A LIGHT ANNUAL FERTILIZATION USING A SLOW RELEASE NITROGEN SOURCE IS ACCEPTABLE.

**(3) TREE FENCING**

(A) FENCING MATERIAL SHALL ENCIRCLE ANY TREE WHOSE OUTER DRIPLINE EDGE IS WITHIN 20 FEET OF ANY CONSTRUCTION ACTIVITIES.

(B) FENCING MATERIAL SHALL BE A BRIGHT, CONTRASTING COLOR, DURABLE, AND AT LEAST 4 FEET HIGH. FENCE POSTS SHALL BE COMPARABLE TO METAL T-POSTS OR HEAVIER POSTS AND PLACED AT LEAST 2 FEET BELOW GROUND.

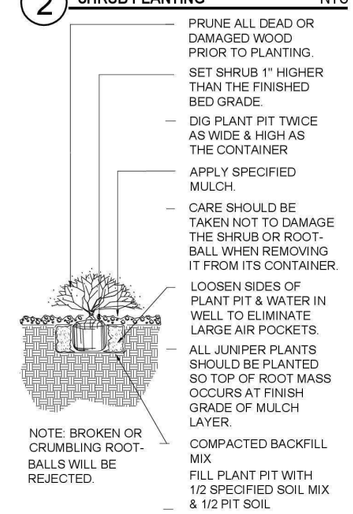
(C) FENCING MATERIAL SHALL BE PLACED AT THE DRIPLINE OR AT LEAST 15 FEET FROM ANY TREE TRUNK, WHICHEVER DISTANCE IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.

(D) THE APPLICANT FOR CONSTRUCTION APPROVAL SHALL INDICATE FENCING LOCATIONS ON THE LANDSCAPING TREE PROTECTION PLAN.

(E) HEAVY OBJECTS, SUCH AS WOOD PALLETS OR METAL RAILINGS, SHALL NOT LEAN AGAINST OR COME INTO CONTACT WITH ANY TREE TRUNK.

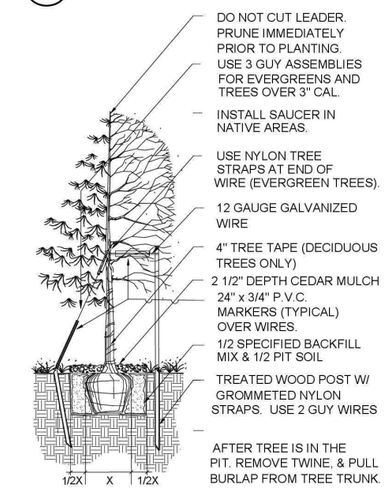
## 2 SHRUB PLANTING

NTS




## 3 TREE PLANTING

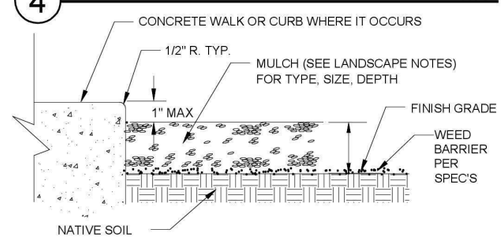
NTS




NOTE: SET TOP OF ROOT BALL 2" TO 3" ABOVE SURROUNDING FINISH GRADE.

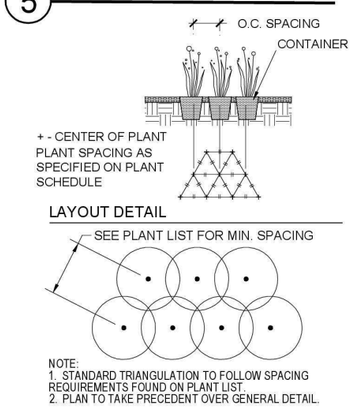
## 4 MULCH DETAIL

NTS



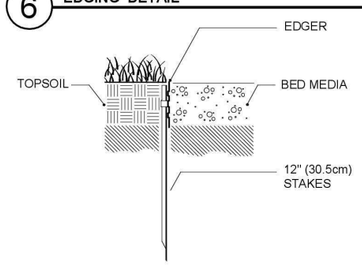

## 5 PERENNIAL / POTTED DETAILS

NTS




NOTE:
1. STANDARD TRIANGULATION TO FOLLOW SPACING REQUIREMENTS FOUND ON PLANT LIST.
2. PLAN TO TAKE PRECEDENT OVER GENERAL DETAIL.

## 6 EDGING DETAIL




NOTES:
1. INSTALL PER MANUFACTURER'S DIRECTION.
2. COMPACT GRADES ADJACENT TO EDGING TO AVOID SETTLING. FINISH GRADE TO BE 1/2" (1.3cm) BELOW TOP OF EDGING.
3. CORNERS - CUT BASE OF EDGING UP HALF WAY AND FORM A CONTINUOUS CORNER.

ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION


grounded by design
LANDSCAPE ARCHITECTURE
P.O. Box 1953
Wheat Ridge, CO 80034
Office: (303) 872.7807
www.groundedbydesign.com



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**AMENDMENT**

| DATE | NO. | DESCRIPTION |
|---|---|---|
| 6/5/20 | 1 | REVISION 1 |
| 10/19/20 | 2 | REVISION 2 |
| | | |
| | | |



COVER SHEET

PROJECT RECORD NUMBER: DV-CUSP-20-00003

DATE PREPARED: 06-05-2020

PLANS PREPARED FOR:

**TEBO DEV. CO**

3111 28TH STREET
BOULDER, CO 80301

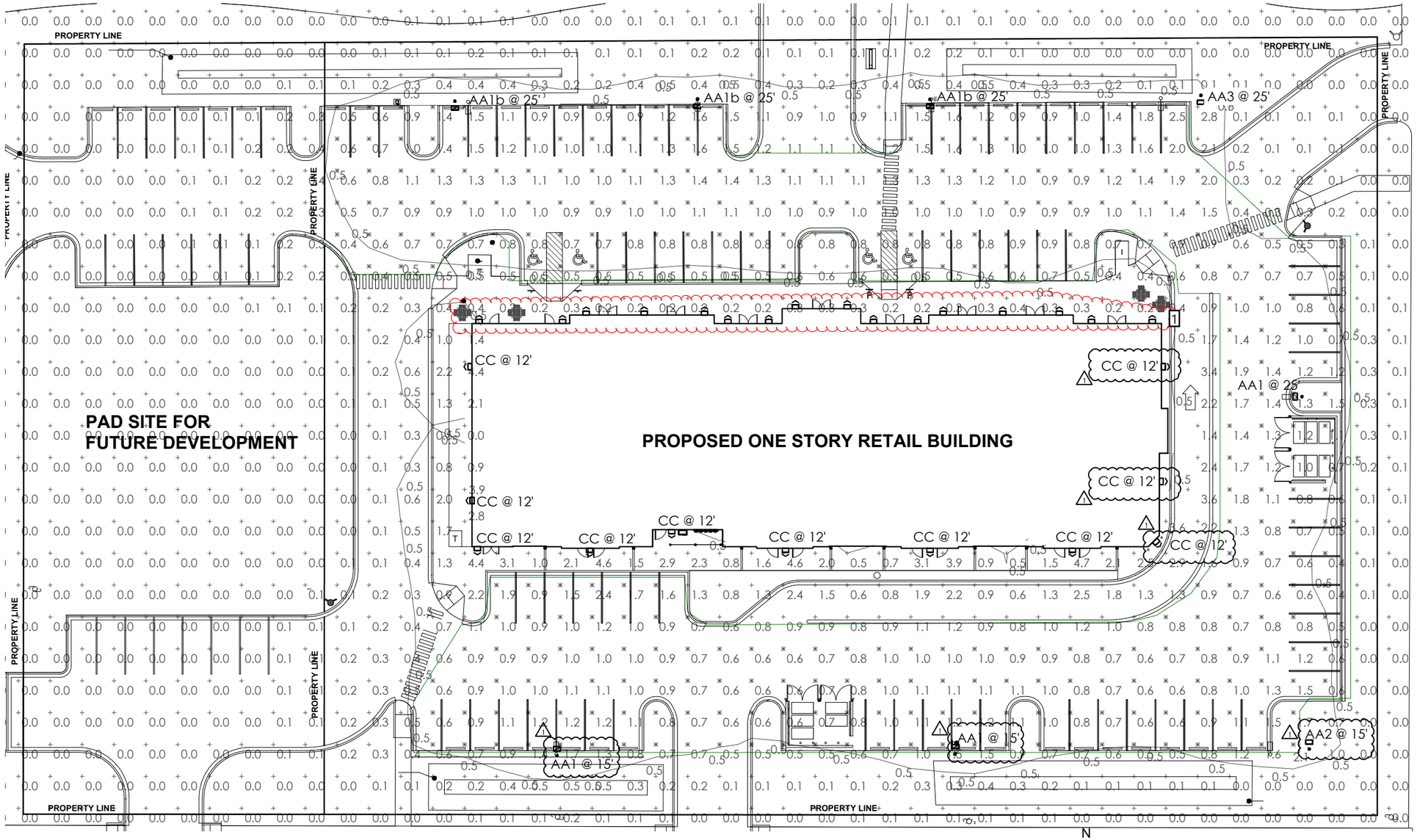

PWN Architects & Planners, Inc.
4949 S. Syracuse St. | Suite 320
Denver, CO 80237
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

This page contains no comments

# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# PHOTOMETRIC PLAN

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO




1 **PHOTO-METRIC SITE PLAN**
1/16" = 1'-0"

Schedule

| Symbol | Label | QTY | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens per Lamp | LLF | Wattage | Distribution | Polar Plot |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | AA1 | 3 | Lithonia Lighting | DSX0 LED P3 30K T3M MVOLT HS | DSX0 LED P3 30K T3M MVOLT with houseside shield | LED | 1 | DSX0_LED_P3_30K_T3M_MVOLT_HS.ies | 4172 | 0.9 | 71 | TYPE III, SHORT, BUG RATING: B1 - U0 - G2 | |
| | AA3 | 1 | Lithonia Lighting | DSX0 LED P3 30K LCCO MVOLT | DSX0 LED P3 30K LCCO MVOLT | LED | 1 | DSX0_LED_P3_30K_LCCO_MVOLT.ies | 4783 | 0.9 | 71 | TYPE I, MEDIUM, BUG RATING: B1 - U0 - G2 | |
| | AA2 | 1 | Lithonia Lighting | DSX0 LED P2 40K RCCO MVOLT | DSX0 LED P2 40K RCCO MVOLT | LED | 1 | DSX0_LED_P2_40K_RCCO_MVOLT.ies | 3644 | 0.9 | 49 | TYPE IV, MEDIUM, BUG RATING: B1 - U0 - G2 | |
| | AA1b | 3 | Lithonia Lighting | DSX0 LED P3 30K T4M MVOLT HS | DSX0 LED P3 30K T4M MVOLT with houseside shield | LED | 1 | DSX0_LED_P3_30K_T4M_MVOLT_HS.ies | 5956 | 0.9 | 71 | TYPE III, SHORT, BUG RATING: B1 - U0 - G2 | |
| | CC | 11 | Lithonia Lighting | WST LED P1 40K VF MVOLT | WST LED, Performance package 1, 4000 K, visual comfort forward throw, MVOLT | LED | 1 | WST_LED_P1_40K_VF_MVOLT.ies | 1639 | 0.9 | 12 | TYPE III, VERY SHORT, BUG RATING: B0 - U0 - G0 | |

Statistics

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|---|---|---|---|---|---|---|
| Calc Zone #1 | + | 0.4 fc | 4.7 fc | 0.0 fc | N/A | N/A |
| Parking Lot | × | 1.0 fc | 2.5 fc | 0.4 fc | 6.3:1 | 2.5:1 |

**STANDARD NOTES:**

1. NO SUBSTITUTIONS, ALTERATIONS, OR CHANGES MAY BE MADE WITHOUT PRIOR APPROVAL BY THE CITY OF LONGMONT.
2. PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY THE CITY MAY REQUIRE CERTIFICATION THAT THE PROPERTY IS COMPLIANT WITH THE APPROVED PLANS AND THE REGULATIONS OF THE CITY.

**AMENDMENT**

| DATE | NO. | DESCRIPTION |
|---|---|---|
| 10/16/20 | 1 | REVISION 1 |
| | | |
| | | |
| | | |

SHEET
11 OF 15

COVER SHEET
PROJECT RECORD NUMBER:
DV-CUSP-20-00003
DATE PREPARED: 06-05-2020
PLANS PREPARED FOR:

**TEBO DEV. CO**

3111 28TH STREET
BOULDER, CO 80301

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Denver, CO 80237
voice 303.649.9880 fax 303.649.9870
pwnarchitects.com

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# Page: [1] Layout1

Number: 1 Author: Pecherzewskiam Subject: Polygon Date: 2/3/2021 5:33:08 PM

The light fixtures along the front of the building are not accounted for in the list of light fixtures in the table below. Please assign a legend code for these fixtures and add them to the light fixture table below.

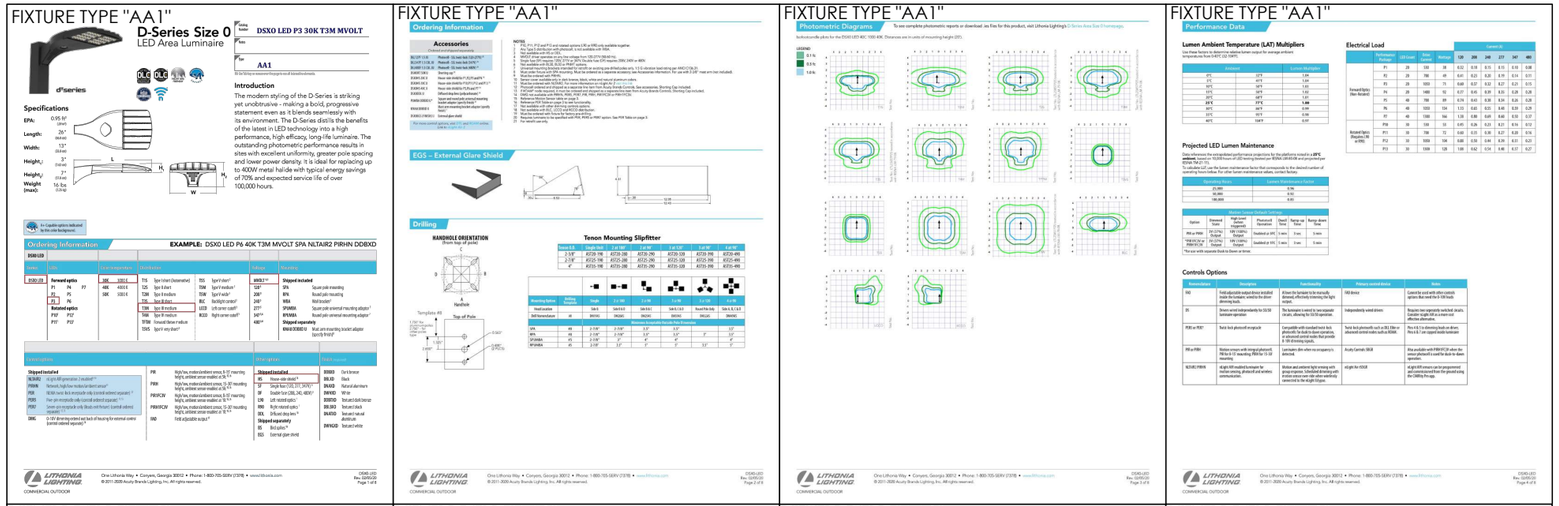
Number: 2 Author: Pecherzewskiam Subject: Polygon Date: 2/3/2021 5:31:32 PM

Per the lighting plan requirements in the Development Handbook, appendix regarding Lighting and Photometric Plan content, the maximum LLF is 0.1. Please update photometric plan to achieve compliance.

# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

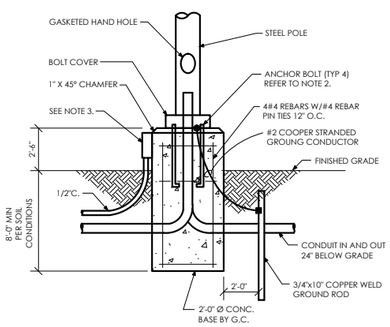
# PHOTOMETRIC PLAN

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO




## ELECTRICAL SITE NOTES:

1. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOCATING, VERIFYING, AND AVOIDING ANY EXISTING UNDER GROUND SERVICES, OR UTILITIES AND NEW SERVICES OR UTILITIES BEING INSTALLED.
2. FOR LIGHT FIXTURE CONCRETE BASE, ALL CONCRETE AND REINFORCEMENT SHALL BE ENGINEERED BY SOIL ENGINEER AND SHALL BE DONE BY GENERAL CONTRACTOR.
3. FOR LIGHT FIXTURE CONCRETE BASE, DEPTH SHALL BE AND DIAMETER SHALL VERIFIED AND COORDINATED WITH SOIL ENGINEER PRIOR TO DIGGING.
4. ELECTRICAL CONTRACTOR SHALL PROVIDE MANUFACTURE INFORMATION FOR INSTALLATION OF ANCHOR BOLTS WITH GENERAL CONTRACTOR PRIOR TO POURING OF CONCRETE.
5. CONTRACTOR SHALL BE ENSURE ALL UTILITY SERVICES OR SPECIAL SYSTEM CABLING ARE LOCATED AND MARKED WITHIN THE NEW CONSTRUCTION AREA. ALL CAUTIONS SHALL BE TAKEN TO ENSURE UTILITY SERVICES OR SPECIAL SYSTEM CABLING WILL NOT BE DISTURBED. IF SERVICES HAVE BEEN DAMAGED, CONTACT APPROPRIATE DIVISION AND REPAIR CABLING AS REQUIRED FOR A FULLY OPERATIONAL SYSTEM.
6. COORDINATE ROUTING OF ALL CONDUITS WITH ENVIRONMENTAL CONTRACTOR AND ARCHITECT. ELECTRICAL CONTRACTOR IS TO ROUTE ELECTRICAL SYSTEMS THROUGH TRENCHES PROVIDED BY ENVIRONMENTAL CONTRACTORS. ELECTRICAL CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING IN IMMEDIATE AREAS TO PROVIDE A COMPLETE SYSTEM.
7. UPON COMPLETION OF NEW UTILITY SERVICES INSTALLATION, THE APPROPRIATE CONTRACTOR SHALL REPAIR OR REPLACE THE DAMAGED SITE AREA TO THE ORIGINAL CONDITIONS THAT WAS AFFECTED FOR THE INSTALLATION OF THE NEW UTILITY SERVICE OR AS DIRECTED BY THE ARCHITECT.
8. FOR TELEPHONE COMPANY AND CABLE COMPANY USE: PROVIDE AND INSTALL SCHEDULE 80 CONDUITS WITH PULL WIRE AND WARNING TAPE. EXTEND CONDUIT (S) 5'-0" FROM EXTERIOR OF THE BUILDING UNLESS OTHERWISE DIRECT BY UTILITY COMPANIES OR GENERAL CONTRACTOR. CAP AND STAKE EXTERIOR END OF THE CONDUIT TO BE LOCATED FOR FUTURE USE. COORDINATE EXACT TERMINATION POINT LOCATION, SIZE OF CONDUITS, NUMBER OF CONDUITS AND ADDITIONAL REQUIREMENTS WITH APPROPRIATE UTILITY COMPANIES AND GENERAL CONTRACTOR PRIOR TO TRENCHING AND INSTALLATION.
9. INTERCEPT AND EXTEND TELEPHONE/CABLE CONDUITS TO THE THE MAIN TELEPHONE ROOM. PRIOR TO STUBBING CONDUIT INTO THE MAIN TELEPHONE ROOM. CONNECT GRC CONDUIT TO THE DIRECT BURIED SCHEDULE 80 PVC CONDUIT AS REQUIRED AND STUB GRC CONDUIT INTO THE MAIN TELEPHONE AND BUSH. THE SCHEDULE 80 PVC CONDUIT WILL NOT BE EXPOSED INSIDE THE BUILDING STRUCTURE. COORDINATE EXACT ROUTING AND TERMINATION POINTS WITH GENERAL CONTRACTOR PRIOR TO COMMENCING OF WORK.
10. FURNISH AND INSTALL LIGHTING FIXTURES COMPLETE WITH LAMPS, BALLAST(S), AND REQUIRED MOUNTING HARDWARE. ELECTRICAL CONTRACTOR SHALL SUBMIT FIXTURE CUT SHEETS TO OWNER AND ARCHITECT FOR THEIR FINAL APPROVAL PRIOR TO ORDERING THE FIXTURES. ELECTRICAL CONTRACTOR SHALL ALSO VERIFY QUANTITIES, MOUNTING REQUIREMENTS, FINISHES, FIXTURE AVAILABILITY AND LEAD TIME FOR DELIVERY TO SITE.
11. SUBSCRIPT LOWERCASE LETTER ADJACENT TO FIXTURE INDICATES THE CHANNEL IN WHICH THE FIXTURES SHALL BE CONTROLLED AND WIRED THROUGH THE LCP-1 CHANNEL AUTOMATION SCHEDULE WITH POTO-CELL "ON" PER INDIVIDUAL POLE LIGHT FIXTURE HEAD. REFER TO FIRST FLOOR LIGHTING PLAN, E1.0 FOR ADDITIONAL INFORMATION.
12. DASHED LINE WEIGHT INDICATES UNDERGROUND WIRING. REFER TO ELECTRICAL BUILDING OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
13. ENSURE VOLTAGE DROP IS CALCULATED FOR FINAL CIRCUITRY ROUTING PRIOR TO TRENCHING. ADJUST CONDUIT AND WIRE SIZE PER THE CALCULATIONS.
14. FOR LIGHT FIXTURE CONCRETE BASE, ALL CONCRETE AND REINFORCEMENT SHALL BE ENGINEERED BY SOIL ENGINEER AND SHALL BE DONE BY GENERAL CONTRACTOR.
15. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.
16. CONTRACTOR SHALL POTHOLE AND VERIFY LOCATION OF THE EXISTING IRRIGATION MAINLINE AND COORDINATE WITH OWNER'S REP. PRIOR TO INSTALLATION OF THE NEW LIGHT POLE BASE OR CONDUIT RUNS.
17. ALL SITE LIGHTING OR EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR SHIELD TO PREVENT LIGHT SPILLAGE ONTO ADJACENT PROPERTIES AND ROADWAYS.

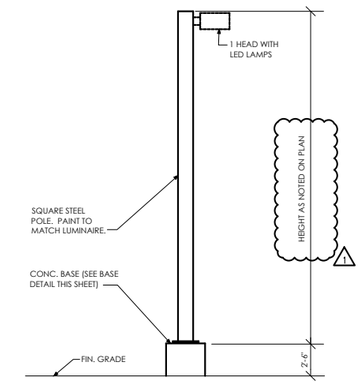



(AA1 & AA2)
LIGHTING POLE BASE DETAIL

SCALE: NONE

NOTES:

1. ALL CONCRETE AND REINFORCING SHALL BE BY G.C.
2. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS AND INSTALLATION PROCEDURES PER MANUFACTURE'S RECOMMENDATIONS WITH GENERAL CONTRACTOR.
3. PROVIDE A WEATHERPROOF, GFI DUPLEX RECEPTACLE WHERE SHOWN ON PLAN. MOUNT TOP OF JUNCTION BOX FLUSH WITH POLE BASE.




LUMINAIRE DETAIL (AA1 & AA2)

SCALE: NONE

**AMENDMENT**

| DATE | NO. | DESCRIPTION |
|---|---|---|
| 10/16/20 | 1 | REVISION 1 |
| | | |
| | | |
| | | |

SHEET
12 OF 15

COVER SHEET
PROJECT RECORD NUMBER:
DV-CUSP-20-00003

DATE PREPARED: 06-05-2020

PLANS PREPARED FOR:

**TEBO DEV. CO**

3111 28TH STREET
BOULDER, CO 80301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This page contains no comments

# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# PHOTOMETRIC PLAN

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO

## FIXTURE TYPE "AA1B"

**D-Series Size 0**
LED Area Luminaire

Catalog Number: **DSX0 LED P3 30K T4M MVOLT HS**

Type: **AA1B**

Click to log a resource request or see all resource centers.

**Introduction**

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

**Specifications**

EPA: 0.95 ft² (.09m²)
Length: 26" (66.0cm)
Width: 13" (33.0cm)
Height$_L$: 3" (7.6cm)
Height$_U$: 7" (17.8cm)
Weight (max): 16.0lbs (7.3kg)

A+ Capable options indicated. Go to cities.lit for updates.

### Ordering Information

**EXAMPLE:** DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED

| Series | LEDs | Interlinkage | Distribution | Voltage | Mounting |
|---|---|---|---|---|---|
| DSX0 LED | **Forward optics**<br>P1 P4 P7<br>P2 P5<br>P3 P6<br>**Rotated optics**<br>P10* P12*<br>P11* P13* | 50K 5000 K<br>40K 4000 K<br>30K 3000 K | T1S Type I short (Automotive)<br>T2S Type II short<br>T2M Type II medium<br>T3S Type III short<br>T3M Type III medium<br>T4M Type IV medium<br>TFTM Type V forward throw medium<br>TFSTG Type V very shorty | TGS Type V short*<br>T5W Type V wide*<br>T5VW Type V extra wide*<br>BLC Backlight control†<br>LCC Left corner cutoff†<br>RCCO Right corner cutoff† | MVOLT *‡<br>**Shipped included**<br>SPA Square pole mounting<br>RPA Round pole mounting<br>WBA Wall bracket†<br>SPUMBA Square pole universal mounting adapter†<br>RPUMBA Round pole universal mounting adapter†<br>**Shipped separately**<br>KMA8 DDBXD U Motor or manufacturing bracket adapter (specify finish)† |

| Accessories | Options | Finish |
|---|---|---|
| **Shipped separately**<br>BLGR3 UNIVERSAL GRID ACCESSORY†<br>PER NEMA PHOTOCELL RECEPTACLE (120-277V)‡<br>PER5 NEMA PHOTOCELL RECEPTACLE (105-305V)‡<br>PER7 NEMA PHOTOCELL RECEPTACLE (105-305V) WITH 7-PIN LOCKING BASE‡<br>DMG 0-10V dimming extend wiring outside of housing for external control (specify in notes)‡ | PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ***<br>PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ***<br>PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ***<br>PIRH1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ***<br>DCR Field adjustable output ***<br>**Shipped separately**<br>BS Bird spike ***<br>EGS External glare shield | **Shipped installed**<br>PE Photocell, dusk to dawn ***<br>SF Single fuse (120, 277, 347)***<br>DF Double fuse (208, 240, 480)***<br>LPI Left impact optics***<br>RPI Right impact optics***<br>DUL Diffused drop lens ***<br>**Shipped separately**<br>BS Bird spike ***<br>EGS External glare shield |
| | | DDBXD Dark bronze<br>DDBTD Black<br>DNAL0 Natural aluminum<br>DWHGD White<br>DDBTXD Textured dark bronze<br>DDLBXD Textured black<br>DNATXD Textured natural aluminum<br>DWHXD Textured white |

LITHONIA LIGHTING
One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
COMMERCIAL OUTDOOR
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DSX0-LED
Rev. 02/05/20
Page 1 of 8

## FIXTURE TYPE "AA1B"

### Ordering Information

**Accessories**

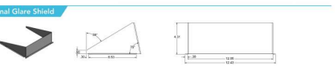
Ordered and shipped separately.

BLGR3 UNIVERSAL GRID ACCESSORY†
PER5 NEMA PHOTOCELL RECEPTACLE (105-305V)‡
PER7 NEMA PHOTOCELL RECEPTACLE (105-305V) WITH 7-PIN LOCKING BASE‡
DMG 0-10V dimming wires extended outside fixture for connection to lighting control system (specify in notes)‡
DSHORT SBK Shorting cap†
DSHORT SVTB Shorting cap†
DSHORT SCC Shorting cap†
DSHORT SRM Shorting cap†
DSHORT SRTB Shorting cap†
PIRMS DDBXD Square pole universal mounting adapter (specify finish)†
RPUMBA DDBXD Round pole universal mounting adapter (specify finish)†
KMA8 DDBXD U Motor or manufacturing bracket adapter (specify finish)†
DDBXD U DNAL0 U DWHGD U Extend grain dimit

For more control options, see DSX1 and DSX2 series cut sheets. Visit www.lithonia.com.

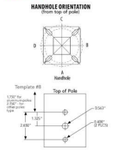
NOTES:
1. P4, P5, P12 and P13 are rotated options (.90 or .990) only available together.
2. Any Type V distribution with photocell, is not available with NLTAIR.
3. Not available with HS or SF.
4. Single fuse (120, 277, 347) is the voltage from 120-277V (50/60 Hz).
5. Single fuse (DF) requires 208, 277 or 240V (Double fuse (DF) requires 208, 240V or 480V.
6. Not available with T5W or T5VW.
7. Universal mounting bracket intended for retrofit on existing pole drilled poles only. 2-7/8 diameter bearing pipe (NPS 2-7/8). Not intended for new construction or any mounting. Must be ordered as a separate accessory, see Accessories information. Fits over NPS 2-7/8 pipe (not included).
8. Must be ordered with PER.
9. Sensor cover available only in dark bronze, black, white and natural aluminum colors.
10. Contact factory for availability of Type V distributions with HS, SF or DF.
11. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
12. If DCR/DMG mode required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
13. Not available with T5W, T5VW, BLC, LCC, RCCO, SPA, RPA, WBA, SPUMBA or RPUMBA.
14. Reference Motion Sensor table on page 3.
15. Not available with Type V distributions, P6, P7 or P13.
16. Not available with other dimming controls options.
17. Not available with HS in 347V or 277V configurations.
18. Must be ordered with fusing for factory pre-wiring.
19. Reverse luminaire is to be specified with PER, PER5 or PER7 options. See POR Table on page 3.
20. For retrofit use only.

### EGS – External Glare Shield



### Drilling

**HANDHOLE ORIENTATION**
(Shown looking at pole)




**Tenon Mounting Slipfitter**

| Tenon O.D. | Slip Length | Slip Length | Slip Length | Slip Length | Slip Length |
|---|---|---|---|---|---|
| 2-3/8" | AST25-190 | AST25-280 | AST25-290 | AST25-320 | AST25-390 |
| 2-7/8" | AST25-190 | AST25-280 | AST25-290 | AST25-320 | AST25-390 |
| 4" | AST25-190 | AST25-280 | AST25-290 | AST25-320 | AST25-390 |

| Mounting Options | Shorting Cap | Tenons | 2 @ 180° | 2 @ 90° | 3 @ 120° | 3 @ 90° | 4 @ 90° |
|---|---|---|---|---|---|---|---|
| Shipped separately | SHORT SBK | Specify O.D. | Specify O.D. | Specify O.D. | Specify O.D. | Specify O.D. | Specify O.D. |
| Drill Accordance | ANSI C136.41 | Drill Accordance | DM28S | DM28AS | DM28AS | DM28AS | DM28AS |
| | | | Mounting Accessories Ordered Separately | | | | |
| SPA | AM | 2-3/8" | 2-7/8" | 3.5" | 3.5" | | 3.5" |
| RPA | AM | 2-3/8" | 2-7/8" | 3.5" | 3.5" | 3" | 3.5" |
| SPUMBA | AM | 2-3/8" | 2-7/8" | 3" | 4" | | 4" |
| RPUMBA | AM | 2-3/8" | 3.5" | 3" | 4" | 3.5" | 4" |



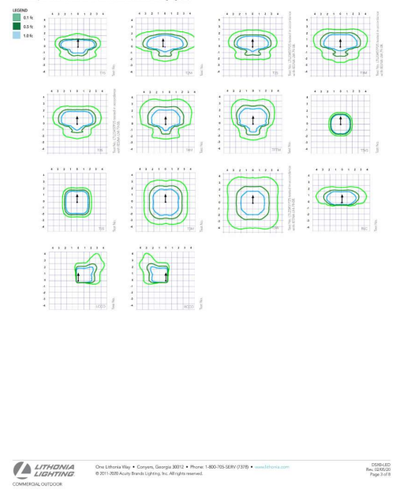
## FIXTURE TYPE "AA1B"

### Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 0 homepage.

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').

LEGEND
0.1 fc
0.2 fc
0.5 fc
1.0 fc






## FIXTURE TYPE "AA1B"

### Performance Data

**Lumen Ambient Temperature (LAT) Multipliers**

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | Lumen Multiplier |
|---|---|
| 0°C | 10°F 1.04 |
| 5°C | 14°F 1.03 |
| 10°C | 18°F 1.02 |
| 15°C | 23°F 1.02 |
| 20°C | 28°F 1.01 |
| 25°C | 33°F **1.00** |
| 30°C | 38°F 0.99 |
| 35°C | 43°F 0.98 |
| 40°C | 104°F 0.97 |

**Electrical Load**

| Performance Package | LED Count | Drive Current | Voltage | Current (A) 120 | 208 | 240 | 277 | 347 | 480 |
|---|---|---|---|---|---|---|---|---|---|
| P1 | 20 | 530 | 30 | 0.32 | 0.19 | 0.15 | 0.15 | 0.10 | 0.08 |
| P2 | 30 | 700 | 40 | 0.41 | 0.23 | 0.20 | 0.19 | 0.14 | 0.11 |
| P3 | 20 | 1050 | 71 | 0.68 | 0.37 | 0.32 | 0.27 | 0.21 | 0.15 |
| P4 | 30 | 1400 | 92 | 0.77 | 0.45 | 0.39 | 0.35 | 0.28 | 0.20 |
| P5 | 40 | 700 | 89 | 0.74 | 0.43 | 0.38 | 0.34 | 0.26 | 0.20 |
| P6 | 40 | 1050 | 134 | 1.13 | 0.65 | 0.55 | 0.48 | 0.39 | 0.29 |
| P7 | 40 | 1300 | 166 | 1.38 | 0.80 | 0.69 | 0.60 | 0.47 | 0.34 |
| P10 | 30 | 530 | 13 | 0.40 | 0.26 | 0.23 | 0.21 | 0.16 | 0.12 |
| P11 | 30 | 700 | 72 | 0.60 | 0.35 | 0.30 | 0.27 | 0.20 | 0.16 |
| P12 | 30 | 1000 | 104 | 0.88 | 0.50 | 0.44 | 0.39 | 0.31 | 0.23 |
| P13 | 30 | 1300 | 128 | 1.06 | 0.62 | 0.54 | 0.48 | 0.37 | 0.27 |

Related Options (See DSX0 HS and PIR HS)

**Projected LED Lumen Maintenance**

Data references the extrapolated performance projections for the platform tested in a **25°C ambient**, based on 10,000 hours of LED testing (testing performed per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate L70, use the Lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | Lumen Maintenance Factor |
|---|---|
| 25,000 | 0.96 |
| 50,000 | 0.92 |
| 100,000 | 0.85 |

**Mounting Height Default Correction**

| Option | Internal Tilt | High Level Correction Factor | Photocell Operation | Dim/BL Time | Ramp up Time | Ramp down Time |
|---|---|---|---|---|---|---|
| PIR or PIRH | PE (27Hz) Default | VF (120Hz) Default | Dusk/dawn at 5fc | 5 mins | 3 sec | 5 mins |
| PIR1FC3V or PIRH1FC3V | PE (27Hz) Default | VF (120Hz) Default | Dusk/dawn at 1fc | 5 mins | 3 sec | 5 mins |

*For use with sensepoint Dusk to Dawn or timers.

**Controls Options**

| Nomenclature | Description | Functionality | Primary control device | Notes |
|---|---|---|---|---|
| E4Z | Field adjustable output device installed inside the luminaire, wired to the driver dimming leads. | Allows the luminaire to be manually dimmed, effectively lowering the light output. | 0-10 dimmer | Cannot be used with other controls options that need the 0-10 leads. |
| DS | Dimmer switch independently for 10 luminaire operation | The luminaire is wired to two separate circuits, allowing for 50/50 operation. | Independently wired dimmers | Requires two separately switched circuits. Luminaire roughly 600 cd in a mirror cross reflective orientation. |
| PER5 or PER7 | Twist-lock photocell receptacle | Compatible with standard twist-lock photocells. Photocell not included. Photocell in enhanced control mode (that provides 0-10V dimming signal). | Twist-lock photocells such as ERL3 Mini or advanced control mode such as NLTAIR2. | Pins 4 & 5 in dimming leads are driven. Pins 6 & 7 are capped inside luminaire |
| PIR or PIRH | Motion sensor, with integral photocell. PIR for 8-15' mounting. PIRH for 15-30' mounting. | Luminaire dims when no occupancy is detected. | Acuity Controls SENSE | Also available with PIR/PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation. |
| NLTAIR2 PIRHN | an eight AA1 enabled luminaire for outdoor motion based, dimming and wireless communication. | Motion and ambient light sensing with independent, zone-based dimming. Motion sensor over-ride when enabled by connection to the nLight Ecosyst. | nLight for ISX0LX | nLight AIR sensor can be programmed and commissioned from the ground using the CLAIRity Pro app. |



## FIXTURE TYPE "AA1B"

### Performance Data

**Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

**Forward Optics**

| Power Package | LED Count | Drive Current | System Watts | Dist. Type | 25C/77F (STARTING TEMPERATURE) Lumens | B | U | G | LPW | 40C/104F (ABOVE AVERAGE) Lumens | B | U | G | LPW | 25C/77F (STARTING TEMPERATURE) Lumens | B | U | G | LPW | 40C/104F (ABOVE AVERAGE) Lumens | B | U | G | LPW |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| P1 | 20 | 530 | 30W | T1S | 4,368 | 1 | 0 | 1 | 146 | 4,196 | 1 | 0 | 1 | 140 | 4,704 | 1 | 0 | 1 | 156 | 4,518 | 1 | 0 | 1 | 150 |
| | | | | T2S | 4,364 | 1 | 0 | 1 | 145 | 4,193 | 1 | 0 | 1 | 140 | 4,700 | 1 | 0 | 1 | 156 | 4,515 | 1 | 0 | 1 | 150 |
| | | | | T2M | 4,369 | 2 | 0 | 2 | 145 | 4,198 | 2 | 0 | 2 | 140 | 4,705 | 2 | 0 | 2 | 156 | 4,520 | 2 | 0 | 2 | 150 |
| | | | | T3S | 4,301 | 2 | 0 | 2 | 143 | 4,133 | 2 | 0 | 2 | 138 | 4,633 | 2 | 0 | 2 | 154 | 4,451 | 2 | 0 | 2 | 148 |
| | | | | T3M | 4,313 | 2 | 0 | 2 | 143 | 4,145 | 2 | 0 | 2 | 138 | 4,646 | 2 | 0 | 2 | 155 | 4,463 | 2 | 0 | 2 | 149 |
| | | | | T4M | 4,307 | 2 | 0 | 2 | 143 | 4,139 | 2 | 0 | 2 | 138 | 4,639 | 2 | 0 | 2 | 154 | 4,457 | 2 | 0 | 2 | 149 |
| | | | | TFTM | 4,242 | 2 | 0 | 2 | 141 | 4,077 | 2 | 0 | 2 | 136 | 4,569 | 2 | 0 | 2 | 152 | 4,391 | 2 | 0 | 2 | 146 |
| | | | | TGS | 4,344 | 2 | 0 | 2 | 145 | 4,175 | 2 | 0 | 2 | 139 | 4,679 | 2 | 0 | 2 | 156 | 4,497 | 2 | 0 | 2 | 150 |
| | | | | T5W | 4,153 | 2 | 0 | 2 | 139 | 4,004 | 2 | 0 | 2 | 134 | 4,473 | 2 | 0 | 2 | 149 | 4,314 | 2 | 0 | 2 | 144 |
| | | | | T5VW | 4,046 | 2 | 0 | 2 | 135 | 3,901 | 2 | 0 | 2 | 130 | 4,357 | 2 | 0 | 2 | 145 | 4,203 | 2 | 0 | 2 | 140 |
| | | | | TBW | 4,576 | 2 | 0 | 2 | 153 | 4,413 | 2 | 0 | 2 | 147 | 4,929 | 2 | 0 | 2 | 165 | 4,755 | 2 | 0 | 2 | 159 |
| | | | | BLC | 3,596 | 1 | 0 | 1 | 120 | 3,683 | 1 | 0 | 1 | 123 | 3,912 | 1 | 0 | 1 | 131 | 4,005 | 1 | 0 | 1 | 134 |
| | | | | RCCO | 2,848 | 1 | 0 | 1 | 95 | 2,879 | 1 | 0 | 1 | 96 | 3,068 | 1 | 0 | 1 | 102 | 3,101 | 1 | 0 | 1 | 103 |
| P2 | 30 | 700 | 49W | T1S | 5,964 | 1 | 0 | 1 | 121 | 5,730 | 1 | 0 | 1 | 116 | 6,422 | 1 | 0 | 1 | 131 | 6,171 | 1 | 0 | 1 | 125 |
| | | | | T2S | 5,959 | 2 | 0 | 2 | 121 | 5,725 | 2 | 0 | 2 | 116 | 6,417 | 2 | 0 | 2 | 131 | 6,166 | 2 | 0 | 2 | 125 |
| | | | | T2M | 5,970 | 2 | 0 | 2 | 121 | 5,735 | 2 | 0 | 2 | 116 | 6,429 | 2 | 0 | 2 | 131 | 6,177 | 2 | 0 | 2 | 125 |
| | | | | T3S | 5,875 | 2 | 0 | 2 | 119 | 5,644 | 2 | 0 | 2 | 114 | 6,326 | 2 | 0 | 2 | 129 | 6,078 | 2 | 0 | 2 | 123 |
| | | | | T3M | 5,892 | 2 | 0 | 2 | 119 | 5,661 | 2 | 0 | 2 | 115 | 6,345 | 2 | 0 | 2 | 129 | 6,095 | 2 | 0 | 2 | 123 |
| | | | | T4M | 5,883 | 2 | 0 | 2 | 119 | 5,652 | 2 | 0 | 2 | 115 | 6,335 | 2 | 0 | 2 | 129 | 6,086 | 2 | 0 | 2 | 123 |
| | | | | TFTM | 5,794 | 2 | 0 | 2 | 117 | 5,566 | 2 | 0 | 2 | 113 | 6,236 | 2 | 0 | 2 | 126 | 5,990 | 2 | 0 | 2 | 121 |
| | | | | TGS | 5,935 | 2 | 0 | 2 | 120 | 5,701 | 2 | 0 | 2 | 115 | 6,388 | 2 | 0 | 2 | 129 | 6,137 | 2 | 0 | 2 | 124 |
| | | | | T5W | 5,673 | 2 | 0 | 2 | 115 | 5,449 | 2 | 0 | 2 | 110 | 6,106 | 2 | 0 | 2 | 123 | 5,866 | 2 | 0 | 2 | 118 |
| | | | | T5VW | 5,527 | 2 | 0 | 2 | 112 | 5,309 | 2 | 0 | 2 | 107 | 5,949 | 2 | 0 | 2 | 120 | 5,715 | 2 | 0 | 2 | 116 |
| | | | | TBW | 6,252 | 2 | 0 | 2 | 127 | 6,006 | 2 | 0 | 2 | 122 | 6,727 | 2 | 0 | 2 | 137 | 6,464 | 2 | 0 | 2 | 131 |
| | | | | BLC | 4,912 | 1 | 0 | 1 | 99 | 5,012 | 1 | 0 | 1 | 101 | 5,287 | 1 | 0 | 1 | 107 | 5,397 | 1 | 0 | 1 | 109 |
| | | | | RCCO | 3,892 | 1 | 0 | 1 | 79 | 3,917 | 1 | 0 | 1 | 79 | 4,187 | 1 | 0 | 1 | 85 | 4,214 | 1 | 0 | 1 | 85 |
| P3 | 20 | 1050 | 71W | T1S | 8,501 | 1 | 0 | 1 | 119 | 8,167 | 1 | 0 | 1 | 114 | 9,156 | 1 | 0 | 1 | 129 | 8,796 | 1 | 0 | 1 | 123 |
| | | | | T2S | 8,495 | 2 | 0 | 2 | 119 | 8,161 | 2 | 0 | 2 | 114 | 9,150 | 2 | 0 | 2 | 129 | 8,790 | 2 | 0 | 2 | 123 |
| | | | | T2M | 8,509 | 2 | 0 | 2 | 120 | 8,175 | 2 | 0 | 2 | 115 | 9,166 | 2 | 0 | 2 | 129 | 8,806 | 2 | 0 | 2 | 123 |
| | | | | T3S | 8,373 | 2 | 0 | 2 | 118 | 8,044 | 2 | 0 | 2 | 113 | 9,018 | 2 | 0 | 2 | 127 | 8,665 | 2 | 0 | 2 | 122 |
| | | | | T3M | 8,397 | 2 | 0 | 2 | 118 | 8,067 | 2 | 0 | 2 | 113 | 9,043 | 2 | 0 | 2 | 127 | 8,689 | 2 | 0 | 2 | 122 |
| | | | | T4M | 8,385 | 2 | 0 | 2 | 118 | 8,055 | 2 | 0 | 2 | 113 | 9,030 | 2 | 0 | 2 | 127 | 8,677 | 2 | 0 | 2 | 122 |
| | | | | TFTM | 8,258 | 2 | 0 | 2 | 116 | 7,933 | 2 | 0 | 2 | 111 | 8,892 | 2 | 0 | 2 | 125 | 8,545 | 2 | 0 | 2 | 120 |
| | | | | TGS | 8,454 | 2 | 0 | 2 | 119 | 8,121 | 2 | 0 | 2 | 114 | 9,103 | 2 | 0 | 2 | 128 | 8,746 | 2 | 0 | 2 | 123 |
| | | | | T5W | 8,083 | 2 | 0 | 2 | 113 | 7,766 | 2 | 0 | 2 | 109 | 8,702 | 2 | 0 | 2 | 122 | 8,361 | 2 | 0 | 2 | 117 |
| | | | | T5VW | 7,878 | 2 | 0 | 2 | 111 | 7,569 | 2 | 0 | 2 | 106 | 8,482 | 2 | 0 | 2 | 119 | 8,147 | 2 | 0 | 2 | 114 |
| | | | | TBW | 8,910 | 2 | 0 | 2 | 125 | 8,560 | 2 | 0 | 2 | 120 | 9,589 | 2 | 0 | 2 | 135 | 9,211 | 2 | 0 | 2 | 129 |
| | | | | BLC | 6,998 | 1 | 0 | 1 | 98 | 7,144 | 1 | 0 | 1 | 100 | 7,537 | 1 | 0 | 1 | 106 | 7,691 | 1 | 0 | 1 | 108 |
| | | | | RCCO | 5,545 | 1 | 0 | 1 | 78 | 5,583 | 1 | 0 | 1 | 78 | 5,970 | 1 | 0 | 1 | 84 | 6,009 | 1 | 0 | 1 | 84 |
| P4 | 30 | 1400 | 92W | T1S | 10,883 | 1 | 0 | 1 | 118 | 10,460 | 1 | 0 | 1 | 113 | 11,722 | 1 | 0 | 1 | 128 | 11,268 | 1 | 0 | 1 | 122 |
| | | | | T2S | 10,878 | 2 | 0 | 2 | 118 | 10,455 | 2 | 0 | 2 | 113 | 11,717 | 2 | 0 | 2 | 128 | 11,263 | 2 | 0 | 2 | 122 |
| | | | | T2M | 10,893 | 2 | 0 | 2 | 118 | 10,470 | 2 | 0 | 2 | 113 | 11,733 | 2 | 0 | 2 | 128 | 11,279 | 2 | 0 | 2 | 122 |
| | | | | T3S | 10,722 | 2 | 0 | 2 | 117 | 10,306 | 2 | 0 | 2 | 112 | 11,549 | 2 | 0 | 2 | 126 | 11,102 | 2 | 0 | 2 | 121 |
| | | | | T3M | 10,752 | 2 | 0 | 2 | 117 | 10,336 | 2 | 0 | 2 | 112 | 11,581 | 2 | 0 | 2 | 126 | 11,133 | 2 | 0 | 2 | 121 |
| | | | | T4M | 10,737 | 2 | 0 | 2 | 117 | 10,322 | 2 | 0 | 2 | 112 | 11,565 | 2 | 0 | 2 | 126 | 11,118 | 2 | 0 | 2 | 121 |
| | | | | TFTM | 10,582 | 2 | 0 | 2 | 115 | 10,173 | 2 | 0 | 2 | 110 | 11,397 | 2 | 0 | 2 | 124 | 10,957 | 2 | 0 | 2 | 119 |
| | | | | TGS | 10,824 | 2 | 0 | 2 | 118 | 10,405 | 2 | 0 | 2 | 113 | 11,657 | 2 | 0 | 2 | 127 | 11,205 | 2 | 0 | 2 | 122 |
| | | | | T5W | 10,352 | 2 | 0 | 2 | 112 | 9,951 | 2 | 0 | 2 | 108 | 11,147 | 2 | 0 | 2 | 121 | 10,717 | 2 | 0 | 2 | 116 |
| | | | | T5VW | 10,092 | 2 | 0 | 2 | 110 | 9,701 | 2 | 0 | 2 | 105 | 10,867 | 2 | 0 | 2 | 118 | 10,447 | 2 | 0 | 2 | 113 |
| | | | | TBW | 11,410 | 2 | 0 | 2 | 124 | 10,966 | 2 | 0 | 2 | 119 | 12,278 | 2 | 0 | 2 | 134 | 11,802 | 2 | 0 | 2 | 128 |
| | | | | BLC | 8,957 | 1 | 0 | 1 | 97 | 9,147 | 1 | 0 | 1 | 99 | 9,650 | 1 | 0 | 1 | 105 | 9,853 | 1 | 0 | 1 | 107 |
| | | | | RCCO | 7,097 | 1 | 0 | 1 | 77 | 7,151 | 1 | 0 | 1 | 77 | 7,649 | 1 | 0 | 1 | 83 | 7,707 | 1 | 0 | 1 | 83 |
| P5 | 40 | 700 | 89W | T1S | 9,701 | 1 | 0 | 1 | 109 | 9,147 | 1 | 0 | 1 | 103 | 10,448 | 1 | 0 | 1 | 118 | 9,850 | 1 | 0 | 1 | 111 |
| | | | | T2S | 9,695 | 2 | 0 | 2 | 109 | 9,141 | 2 | 0 | 2 | 103 | 10,441 | 2 | 0 | 2 | 118 | 9,844 | 2 | 0 | 2 | 111 |
| | | | | T2M | 9,711 | 2 | 0 | 2 | 109 | 9,157 | 2 | 0 | 2 | 103 | 10,458 | 2 | 0 | 2 | 118 | 9,861 | 2 | 0 | 2 | 111 |
| | | | | T3S | 9,557 | 2 | 0 | 2 | 108 | 9,012 | 2 | 0 | 2 | 102 | 10,292 | 2 | 0 | 2 | 116 | 9,704 | 2 | 0 | 2 | 110 |
| | | | | T3M | 9,585 | 2 | 0 | 2 | 108 | 9,039 | 2 | 0 | 2 | 102 | 10,322 | 2 | 0 | 2 | 116 | 9,732 | 2 | 0 | 2 | 110 |
| | | | | T4M | 9,571 | 2 | 0 | 2 | 108 | 9,026 | 2 | 0 | 2 | 102 | 10,307 | 2 | 0 | 2 | 116 | 9,718 | 2 | 0 | 2 | 110 |
| | | | | TFTM | 9,426 | 2 | 0 | 2 | 106 | 8,889 | 2 | 0 | 2 | 101 | 10,151 | 2 | 0 | 2 | 114 | 9,571 | 2 | 0 | 2 | 108 |
| | | | | TGS | 9,645 | 2 | 0 | 2 | 109 | 9,095 | 2 | 0 | 2 | 103 | 10,391 | 2 | 0 | 2 | 117 | 9,799 | 2 | 0 | 2 | 111 |
| | | | | T5W | 9,225 | 2 | 0 | 2 | 103 | 8,700 | 2 | 0 | 2 | 099 | 9,933 | 2 | 0 | 2 | 111 | 9,369 | 2 | 0 | 2 | 105 |
| | | | | T5VW | 8,991 | 2 | 0 | 2 | 101 | 8,479 | 2 | 0 | 2 | 096 | 9,682 | 2 | 0 | 2 | 108 | 9,129 | 2 | 0 | 2 | 103 |
| | | | | TBW | 10,167 | 2 | 0 | 2 | 114 | 9,585 | 2 | 0 | 2 | 109 | 10,943 | 2 | 0 | 2 | 123 | 10,317 | 2 | 0 | 2 | 117 |
| | | | | BLC | 7,981 | 1 | 0 | 1 | 089 | 8,000 | 1 | 0 | 1 | 090 | 8,601 | 1 | 0 | 1 | 096 | 8,617 | 1 | 0 | 1 | 097 |
| | | | | RCCO | 6,324 | 1 | 0 | 1 | 071 | 6,255 | 1 | 0 | 1 | 070 | 6,815 | 1 | 0 | 1 | 077 | 6,740 | 1 | 0 | 1 | 076 |
| P6 | 40 | 1050 | 134W | T1S | 13,275 | 1 | 0 | 1 | 099 | 12,760 | 1 | 0 | 1 | 095 | 14,300 | 1 | 0 | 1 | 107 | 13,752 | 1 | 0 | 1 | 102 |
| | | | | T2S | 13,268 | 2 | 0 | 2 | 099 | 12,753 | 2 | 0 | 2 | 095 | 14,293 | 2 | 0 | 2 | 107 | 13,745 | 2 | 0 | 2 | 102 |
| | | | | T2M | 13,287 | 2 | 0 | 2 | 099 | 12,772 | 2 | 0 | 2 | 095 | 14,314 | 2 | 0 | 2 | 107 | 13,766 | 2 | 0 | 2 | 102 |
| | | | | T3S | 13,078 | 2 | 0 | 2 | 098 | 12,571 | 2 | 0 | 2 | 094 | 14,088 | 2 | 0 | 2 | 105 | 13,545 | 2 | 0 | 2 | 101 |
| | | | | T3M | 13,116 | 2 | 0 | 2 | 098 | 12,608 | 2 | 0 | 2 | 094 | 14,129 | 2 | 0 | 2 | 105 | 13,584 | 2 | 0 | 2 | 101 |
| | | | | T4M | 13,097 | 2 | 0 | 2 | 098 | 12,590 | 2 | 0 | 2 | 094 | 14,108 | 2 | 0 | 2 | 105 | 13,564 | 2 | 0 | 2 | 101 |
| | | | | TFTM | 12,908 | 2 | 0 | 2 | 096 | 12,408 | 2 | 0 | 2 | 092 | 13,904 | 2 | 0 | 2 | 103 | 13,368 | 2 | 0 | 2 | 099 |
| | | | | TGS | 13,203 | 2 | 0 | 2 | 099 | 12,691 | 2 | 0 | 2 | 095 | 14,224 | 2 | 0 | 2 | 106 | 13,673 | 2 | 0 | 2 | 102 |
| | | | | T5W | 12,623 | 2 | 0 | 2 | 094 | 12,131 | 2 | 0 | 2 | 091 | 13,597 | 2 | 0 | 2 | 101 | 13,069 | 2 | 0 | 2 | 097 |
| | | | | T5VW | 12,305 | 2 | 0 | 2 | 092 | 11,826 | 2 | 0 | 2 | 088 | 13,254 | 2 | 0 | 2 | 099 | 12,740 | 2 | 0 | 2 | 095 |
| | | | | TBW | 13,921 | 2 | 0 | 2 | 104 | 13,382 | 2 | 0 | 2 | 100 | 14,979 | 2 | 0 | 2 | 112 | 14,396 | 2 | 0 | 2 | 107 |
| | | | | BLC | 10,924 | 1 | 0 | 1 | 081 | 11,172 | 1 | 0 | 1 | 083 | 11,771 | 1 | 0 | 1 | 088 | 12,032 | 1 | 0 | 1 | 090 |
| | | | | RCCO | 8,657 | 1 | 0 | 1 | 065 | 8,730 | 1 | 0 | 1 | 065 | 9,327 | 1 | 0 | 1 | 069 | 9,403 | 1 | 0 | 1 | 069 |
| P7 | 40 | 1300 | 166W | T1S | 16,451 | 1 | 0 | 1 | 099 | 15,811 | 1 | 0 | 1 | 095 | 17,719 | 1 | 0 | 1 | 107 | 17,038 | 1 | 0 | 1 | 102 |
| | | | | T2S | 16,443 | 2 | 0 | 2 | 099 | 15,803 | 2 | 0 | 2 | 095 | 17,710 | 2 | 0 | 2 | 107 | 17,029 | 2 | 0 | 2 | 102 |
| | | | | T2M | 16,463 | 2 | 0 | 2 | 099 | 15,822 | 2 | 0 | 2 | 095 | 17,732 | 2 | 0 | 2 | 107 | 17,050 | 2 | 0 | 2 | 102 |
| | | | | T3S | 16,209 | 2 | 0 | 2 | 098 | 15,578 | 2 | 0 | 2 | 094 | 17,458 | 2 | 0 | 2 | 105 | 16,778 | 2 | 0 | 2 | 101 |
| | | | | T3M | 16,257 | 2 | 0 | 2 | 098 | 15,624 | 2 | 0 | 2 | 094 | 17,510 | 2 | 0 | 2 | 105 | 16,824 | 2 | 0 | 2 | 101 |
| | | | | T4M | 16,233 | 2 | 0 | 2 | 098 | 15,601 | 2 | 0 | 2 | 094 | 17,484 | 2 | 0 | 2 | 105 | 16,801 | 2 | 0 | 2 | 101 |
| | | | | TFTM | 15,929 | 2 | 0 | 2 | 096 | 15,309 | 2 | 0 | 2 | 092 | 17,156 | 2 | 0 | 2 | 103 | 16,485 | 2 | 0 | 2 | 099 |
| | | | | TGS | 16,364 | 2 | 0 | 2 | 099 | 15,721 | 2 | 0 | 2 | 095 | 17,617 | 2 | 0 | 2 | 106 | 16,924 | 2 | 0 | 2 | 102 |
| | | | | T5W | 15,651 | 2 | 0 | 2 | 094 | 15,038 | 2 | 0 | 2 | 091 | 16,844 | 2 | 0 | 2 | 101 | 16,188 | 2 | 0 | 2 | 097 |
| | | | | T5VW | 15,246 | 2 | 0 | 2 | 092 | 14,651 | 2 | 0 | 2 | 088 | 16

This page contains no comments

# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

# PHOTOMETRIC PLAN

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO

## FIXTURE TYPE "AA2"

**D-Series Size 0**
LED Area Luminaire

Catalog Number: DSXO LED P2 40K RCCO MVOLT
Type: AA2

Specifications: EPA: 0.95 ft² (.09 m²); Length: 26" (66.0 cm); Width: 13" (33.0 cm); Height₁: 3" (7.62 cm); Height₂: 7" (17.8 cm); Weight (max): 16 lbs (7.25 kg)

### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

### Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD



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## FIXTURE TYPE "AA2"

### Ordering Information

Accessories — Ordered and shipped separately.

### EGS – External Glare Shield

### Drilling

HANDHOLE ORIENTATION (from top of pole)

Tenon Mounting Slipfitter



## FIXTURE TYPE "AA2"

### Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 0 homepage.

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').

LEGEND: 0.1 fc; 0.5 fc; 1.0 fc



## FIXTURE TYPE "AA2"

### Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Electrical Load

Projected LED Lumen Maintenance

Motion Sensor Default Settings

Controls Options



## FIXTURE TYPE "AA2"

### Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics



## FIXTURE TYPE "AA2"

### Performance Data

Lumen Output — Forward Optics



## FIXTURE TYPE "AA2"

### Performance Data

Lumen Output — Rotated Optics



## FIXTURE TYPE "AA2"

### A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background1

To learn more about A+, visit www.acuitybrands.com/aplus.
1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

### FEATURES & SPECIFICATIONS

**INTENDED USE**
The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

**CONSTRUCTION**
Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft²) for optimized pole wind loading.

**FINISH**
Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

**OPTICS**
Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

**ELECTRICAL**
Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

**STANDARD CONTROLS**
The DSX0 LED area luminaire has a number of control options. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programing and are suitable for mounting heights up to 30 feet.

**nLIGHT AIR CONTROLS**
The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclypse. Additional information about nLight Air can be found here.

**INSTALLATION**
Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

**LISTINGS**
UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

**WARRANTY**
5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

**Note:** Actual performance may differ as a result of end-user environment and application.
All values are design or typical values, measured under laboratory conditions at 25 °C.
Specifications subject to change without notice.



## FIXTURE TYPE "AA3"

**D-Series Size 0**
LED Area Luminaire

Catalog Number: DSXO LED P3 30K LCCO MVOLT
Type: AA3

### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

### Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD



## FIXTURE TYPE "AA3"

### Ordering Information

### EGS – External Glare Shield

### Drilling



**AMENDMENT**

| DATE | NO. | DESCRIPTION |
|---|---|---|
| 10/16/20 | 1 | REVISION 1 |
| | | |
| | | |
| | | |

SHEET
14 OF 15

COVER SHEET
PROJECT RECORD NUMBER:
DV-CUSP-20-00003

DATE PREPARED: 06-05-2020
PLANS PREPARED FOR:

**TEBO DEV. CO**

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# SOUTHMOOR RETAIL PLAZA CONDITIONAL USE SITE PLAN

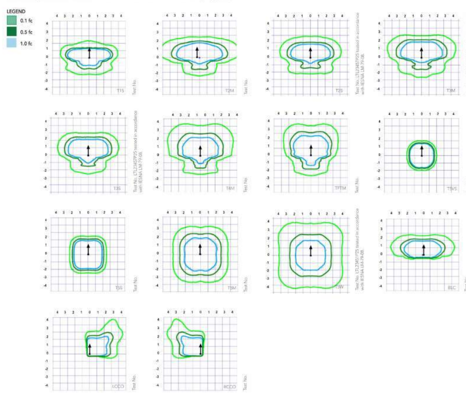
# PHOTOMETRIC PLAN

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO

## FIXTURE TYPE "AA3"

**Photometric Diagrams** To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 0 homepage.

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').





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## FIXTURE TYPE "AA3"

**Performance Data**

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | | Lumen Multiplier |
|---|---|---|
| 0°C | 32°F | 1.04 |
| 5°C | 41°F | 1.04 |
| 10°C | 50°F | 1.03 |
| 15°C | 50°F | 1.02 |
| 20°C | 68°F | 1.01 |
| **25°C** | **77°F** | **1.00** |
| 30°C | 86°F | 0.99 |
| 35°C | 95°F | 0.98 |
| 40°C | 104°F | 0.97 |

### Electrical Load

| | Performance Package | LED Count | Drive Current | Wattage | Current (A) 120 | 208 | 240 | 277 | 347 | 480 |
|---|---|---|---|---|---|---|---|---|---|---|
| Forward Optics (Non-Rotated) | P1 | 20 | 530 | 38 | 0.32 | 0.18 | 0.15 | 0.15 | 0.10 | 0.08 |
| | P2 | 20 | 700 | 49 | 0.41 | 0.23 | 0.20 | 0.19 | 0.14 | 0.11 |
| | P3 | 20 | 1050 | 71 | 0.60 | 0.37 | 0.32 | 0.27 | 0.21 | 0.15 |
| | P4 | 20 | 1400 | 92 | 0.77 | 0.45 | 0.39 | 0.35 | 0.28 | 0.20 |
| | P5 | 40 | 700 | 89 | 0.74 | 0.43 | 0.38 | 0.34 | 0.26 | 0.20 |
| | P6 | 40 | 1050 | 134 | 1.13 | 0.65 | 0.55 | 0.48 | 0.39 | 0.29 |
| | P7 | 40 | 1300 | 166 | 1.38 | 0.80 | 0.69 | 0.60 | 0.50 | 0.37 |
| Rotated Optics (Requires L90 or R90) | P10 | 30 | 530 | 53 | 0.45 | 0.26 | 0.23 | 0.21 | 0.16 | 0.12 |
| | P11 | 30 | 700 | 72 | 0.60 | 0.35 | 0.30 | 0.27 | 0.20 | 0.16 |
| | P12 | 30 | 1050 | 104 | 0.88 | 0.50 | 0.44 | 0.39 | 0.31 | 0.23 |
| | P13 | 30 | 1300 | 128 | 1.08 | 0.62 | 0.54 | 0.48 | 0.37 | 0.27 |

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | Lumen Maintenance Factor |
|---|---|
| 25,000 | 0.96 |
| 50,000 | 0.92 |
| 100,000 | 0.85 |

**Motion Sensor Default Settings**

| Option | Dimmed State | High Level (when triggered) | Photocell Operation | Dwell Time | Ramp-up Time | Ramp-down Time |
|---|---|---|---|---|---|---|
| PIR or PIRH | 3V (37%) Output | 10V (100%) Output | Enabled @ 5FC | 5 min | 3 sec | 5 min |
| *PIR1FC3V or PIRH1FC3V | 3V (37%) Output | 10V (100%) Output | Enabled @ 1FC | 5 min | 3 sec | 5 min |

*for use with separate Dusk to Dawn or timer.

### Controls Options

| Nomenclature | Description | Functionality | Primary control device | Notes |
|---|---|---|---|---|
| FAO | Field adjustable output device installed inside the luminaire; wired to the driver dimming leads. | Allows the luminaire to be manually dimmed, effectively trimming the light output. | FAO device | Cannot be used with other controls options that need the 0-10V leads |
| DS | Drivers wired independantly for 50/50 luminaire operation | The luminaire is wired to two separate circuits, allowing for 50/50 operation. | Independently wired drivers | Requires two seperately switched circuits. Consider nLight AIR as a more cost effective alternative. |
| PER5 or PER7 | Twist-lock photocell receptacle | Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals. | Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM. | Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire |
| PIR or PIRH | Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting | Luminaires dim when no occupancy is detected. | Acuity Controls SBGR | Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation. |
| NLTAIR2 PIRHN | nLight AIR enabled luminaire for motion sensing, photocell and wireless communication. | Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclypse. | nLight Air rSDGR | nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. |


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## FIXTURE TYPE "AA3"

**Performance Data**

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

**Forward Optics**

| Power Package | LED Count | Drive Current | System Watts | Dist. Type | 30K (3000 K, 70 CRI) Lumens | B | U | G | LPW | 40K (4000 K, 70 CRI) Lumens | B | U | G | LPW | 50K (5000 K, 70 CRI) Lumens | B | U | G | LPW |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| P1 | 20 | 530 | 38W | T1S | 4,369 | 1 | 0 | 1 | 115 | 4,706 | 1 | 0 | 1 | 124 | 4,766 | 1 | 0 | 1 | 125 |
| | | | | T2S | 4,364 | 1 | 0 | 1 | 115 | 4,701 | 1 | 0 | 1 | 124 | 4,761 | 1 | 0 | 1 | 125 |
| | | | | T2M | 4,387 | 1 | 0 | 1 | 115 | 4,726 | 1 | 0 | 1 | 124 | 4,785 | 1 | 0 | 1 | 126 |
| | | | | T3S | 4,248 | 1 | 0 | 1 | 112 | 4,577 | 1 | 0 | 1 | 120 | 4,634 | 1 | 0 | 1 | 122 |
| | | | | T3M | 4,376 | 1 | 0 | 1 | 115 | 4,714 | 1 | 0 | 1 | 124 | 4,774 | 1 | 0 | 1 | 126 |
| | | | | T4M | 4,281 | 1 | 0 | 1 | 113 | 4,612 | 1 | 0 | 2 | 121 | 4,670 | 1 | 0 | 2 | 123 |
| | | | | TFTM | 4,373 | 1 | 0 | 1 | 115 | 4,711 | 1 | 0 | 2 | 124 | 4,771 | 1 | 0 | 2 | 126 |
| | | | | T5VS | 4,548 | 2 | 0 | 0 | 120 | 4,900 | 2 | 0 | 0 | 129 | 4,962 | 2 | 0 | 0 | 131 |
| | | | | T5S | 4,552 | 2 | 0 | 0 | 120 | 4,904 | 2 | 0 | 0 | 129 | 4,966 | 2 | 0 | 0 | 131 |
| | | | | T5M | 4,541 | 3 | 0 | 1 | 120 | 4,891 | 3 | 0 | 1 | 129 | 4,953 | 3 | 0 | 1 | 130 |
| | | | | T5W | 4,576 | 3 | 0 | 2 | 120 | 4,929 | 3 | 0 | 2 | 130 | 4,992 | 3 | 0 | 2 | 131 |
| | | | | BLC | 3,586 | 1 | 0 | 1 | 94 | 3,863 | 1 | 0 | 1 | 102 | 3,912 | 1 | 0 | 1 | 103 |
| | | | | LCCO | 2,668 | 1 | 0 | 1 | 70 | 2,874 | 1 | 0 | 2 | 76 | 2,911 | 1 | 0 | 2 | 77 |
| | | | | RCCO | 2,668 | 1 | 0 | 1 | 70 | 2,874 | 1 | 0 | 2 | 76 | 2,911 | 1 | 0 | 2 | 77 |
| P2 | 20 | 700 | 49W | T1S | 5,570 | 1 | 0 | 1 | 114 | 6,001 | 1 | 0 | 1 | 122 | 6,077 | 2 | 0 | 2 | 124 |
| | | | | T2S | 5,564 | 1 | 0 | 1 | 114 | 5,994 | 1 | 0 | 2 | 122 | 6,070 | 2 | 0 | 2 | 124 |
| | | | | T2M | 5,593 | 1 | 0 | 1 | 114 | 6,025 | 1 | 0 | 1 | 123 | 6,102 | 1 | 0 | 1 | 125 |
| | | | | T3S | 5,417 | 1 | 0 | 2 | 111 | 5,835 | 1 | 0 | 2 | 119 | 5,909 | 2 | 0 | 2 | 121 |
| | | | | T3M | 5,580 | 1 | 0 | 1 | 114 | 6,011 | 1 | 0 | 2 | 123 | 6,087 | 1 | 0 | 2 | 124 |
| | | | | T4M | 5,458 | 1 | 0 | 2 | 111 | 5,880 | 1 | 0 | 2 | 120 | 5,955 | 1 | 0 | 2 | 122 |
| | | | | TFTM | 5,576 | 1 | 0 | 2 | 114 | 6,007 | 1 | 0 | 2 | 123 | 6,083 | 1 | 0 | 2 | 124 |
| | | | | T5VS | 5,799 | 2 | 0 | 0 | 118 | 6,247 | 2 | 0 | 0 | 127 | 6,327 | 2 | 0 | 0 | 129 |
| | | | | T5S | 5,804 | 2 | 0 | 0 | 118 | 6,252 | 2 | 0 | 0 | 128 | 6,332 | 2 | 0 | 1 | 129 |
| | | | | T5M | 5,789 | 3 | 0 | 1 | 118 | 6,237 | 3 | 0 | 1 | 127 | 6,316 | 3 | 0 | 1 | 129 |
| | | | | T5W | 5,834 | 3 | 0 | 2 | 119 | 6,285 | 3 | 0 | 2 | 128 | 6,364 | 3 | 0 | 2 | 130 |
| | | | | BLC | 4,572 | 1 | 0 | 1 | 93 | 4,925 | 1 | 0 | 1 | 101 | 4,987 | 1 | 0 | 1 | 102 |
| | | | | LCCO | 3,402 | 1 | 0 | 2 | 69 | 3,665 | 1 | 0 | 2 | 75 | 3,711 | 1 | 0 | 2 | 76 |
| | | | | RCCO | 3,402 | 1 | 0 | 2 | 69 | 3,665 | 1 | 0 | 2 | 75 | 3,711 | 1 | 0 | 2 | 76 |
| P3 | 20 | 1050 | 71W | T1S | 7,833 | 2 | 0 | 2 | 110 | 8,438 | 2 | 0 | 2 | 119 | 8,545 | 2 | 0 | 2 | 120 |
| | | | | T2S | 7,825 | 2 | 0 | 2 | 110 | 8,429 | 2 | 0 | 2 | 119 | 8,536 | 2 | 0 | 2 | 120 |
| | | | | T2M | 7,865 | 2 | 0 | 2 | 111 | 8,473 | 2 | 0 | 2 | 119 | 8,580 | 2 | 0 | 2 | 121 |
| | | | | T3S | 7,617 | 2 | 0 | 2 | 107 | 8,205 | 2 | 0 | 2 | 116 | 8,309 | 2 | 0 | 2 | 117 |
| | | | | T3M | 7,846 | 2 | 0 | 2 | 111 | 8,452 | 2 | 0 | 2 | 119 | 8,559 | 2 | 0 | 2 | 121 |
| | | | | T4M | 7,675 | 2 | 0 | 2 | 108 | 8,269 | 2 | 0 | 2 | 116 | 8,373 | 2 | 0 | 2 | 118 |
| | | | | TFTM | 7,841 | 2 | 0 | 2 | 110 | 8,447 | 2 | 0 | 2 | 119 | 8,554 | 2 | 0 | 2 | 120 |
| | | | | T5VS | 8,155 | 3 | 0 | 0 | 115 | 8,785 | 3 | 0 | 0 | 124 | 8,896 | 3 | 0 | 0 | 125 |
| | | | | T5S | 8,162 | 3 | 0 | 1 | 115 | 8,792 | 3 | 0 | 1 | 124 | 8,904 | 3 | 0 | 1 | 125 |
| | | | | T5M | 8,141 | 3 | 0 | 1 | 115 | 8,770 | 3 | 0 | 1 | 124 | 8,881 | 3 | 0 | 2 | 125 |
| | | | | T5W | 8,204 | 3 | 0 | 2 | 116 | 8,838 | 4 | 0 | 2 | 124 | 8,950 | 4 | 0 | 2 | 126 |
| | | | | BLC | 6,429 | 1 | 0 | 2 | 91 | 6,926 | 1 | 0 | 2 | 98 | 7,013 | 1 | 0 | 2 | 99 |
| | | | | LCCO | 4,784 | 1 | 0 | 2 | 67 | 5,153 | 1 | 0 | 2 | 73 | 5,218 | 1 | 0 | 2 | 73 |
| | | | | RCCO | 4,784 | 1 | 0 | 2 | 67 | 5,153 | 1 | 0 | 2 | 73 | 5,218 | 1 | 0 | 2 | 73 |
| P4 | 20 | 1400 | 92W | T1S | 9,791 | 2 | 0 | 2 | 106 | 10,547 | 2 | 0 | 2 | 115 | 10,681 | 2 | 0 | 2 | 116 |
| | | | | T2S | 9,780 | 2 | 0 | 2 | 106 | 10,536 | 2 | 0 | 2 | 115 | 10,669 | 2 | 0 | 2 | 116 |
| | | | | T2M | 9,831 | 2 | 0 | 2 | 107 | 10,590 | 2 | 0 | 2 | 115 | 10,724 | 2 | 0 | 2 | 117 |
| | | | | T3S | 9,521 | 2 | 0 | 2 | 103 | 10,256 | 2 | 0 | 2 | 111 | 10,386 | 2 | 0 | 2 | 113 |
| | | | | T3M | 9,807 | 2 | 0 | 2 | 107 | 10,565 | 2 | 0 | 2 | 115 | 10,698 | 2 | 0 | 2 | 116 |
| | | | | T4M | 9,594 | 2 | 0 | 2 | 104 | 10,335 | 2 | 0 | 3 | 112 | 10,466 | 2 | 0 | 3 | 114 |
| | | | | TFTM | 9,801 | 2 | 0 | 2 | 107 | 10,558 | 2 | 0 | 2 | 115 | 10,692 | 2 | 0 | 2 | 116 |
| | | | | T5VS | 10,193 | 3 | 0 | 1 | 111 | 10,981 | 3 | 0 | 1 | 119 | 11,120 | 3 | 0 | 1 | 121 |
| | | | | T5S | 10,201 | 3 | 0 | 1 | 111 | 10,990 | 3 | 0 | 1 | 119 | 11,129 | 3 | 0 | 1 | 121 |
| | | | | T5M | 10,176 | 4 | 0 | 2 | 111 | 10,962 | 4 | 0 | 2 | 119 | 11,101 | 4 | 0 | 2 | 121 |
| | | | | T5W | 10,254 | 4 | 0 | 3 | 111 | 11,047 | 4 | 0 | 3 | 120 | 11,186 | 4 | 0 | 3 | 122 |
| | | | | BLC | 8,036 | 1 | 0 | 2 | 87 | 8,656 | 1 | 0 | 2 | 94 | 8,766 | 1 | 0 | 2 | 95 |
| | | | | LCCO | 5,979 | 1 | 0 | 2 | 65 | 6,441 | 1 | 0 | 2 | 70 | 6,523 | 1 | 0 | 3 | 71 |
| | | | | | 5,979 | 1 | 0 | 2 | 65 | 6,441 | 1 | 0 | 2 | 70 | 6,523 | 1 | 0 | 3 | 71 |


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## FIXTURE TYPE "AA3"

**Performance Data**

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

**Forward Optics**

| Power Package | LED Count | Drive Current | System Watts | Dist. Type | 30K (3000 K, 70 CRI) Lumens | B | U | G | LPW | 40K (4000 K, 70 CRI) Lumens | B | U | G | LPW | 50K (5000 K, 70 CRI) Lumens | B | U | G | LPW |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| P5 | 40 | 700 | 89W | T1S | 10,831 | 2 | 0 | 2 | 122 | 11,668 | 2 | 0 | 2 | 131 | 11,816 | 2 | 0 | 2 | 133 |
| | | | | T2S | 10,820 | 2 | 0 | 2 | 122 | 11,656 | 2 | 0 | 2 | 131 | 11,803 | 2 | 0 | 2 | 133 |
| | | | | T2M | 10,876 | 2 | 0 | 2 | 122 | 11,716 | 2 | 0 | 2 | 132 | 11,864 | 2 | 0 | 2 | 133 |
| | | | | T3S | 10,532 | 2 | 0 | 2 | 118 | 11,346 | 2 | 0 | 2 | 127 | 11,490 | 2 | 0 | 2 | 129 |
| | | | | T3M | 10,849 | 2 | 0 | 2 | 122 | 11,687 | 2 | 0 | 2 | 131 | 11,835 | 2 | 0 | 2 | 133 |
| | | | | T4M | 10,613 | 2 | 0 | 3 | 119 | 11,434 | 2 | 0 | 3 | 128 | 11,578 | 2 | 0 | 3 | 130 |
| | | | | TFTM | 10,842 | 2 | 0 | 2 | 122 | 11,680 | 2 | 0 | 2 | 131 | 11,828 | 2 | 0 | 2 | 133 |
| | | | | T5VS | 11,276 | 3 | 0 | 1 | 127 | 12,148 | 3 | 0 | 1 | 136 | 12,302 | 3 | 0 | 1 | 138 |
| | | | | T5S | 11,286 | 3 | 0 | 1 | 127 | 12,158 | 3 | 0 | 1 | 137 | 12,312 | 3 | 0 | 1 | 138 |
| | | | | T5M | 11,257 | 4 | 0 | 2 | 126 | 12,127 | 4 | 0 | 2 | 136 | 12,280 | 4 | 0 | 2 | 138 |
| | | | | T5W | 11,344 | 4 | 0 | 3 | 127 | 12,221 | 4 | 0 | 3 | 137 | 12,375 | 4 | 0 | 3 | 139 |
| | | | | BLC | 8,890 | 1 | 0 | 2 | 100 | 9,576 | 1 | 0 | 2 | 108 | 9,698 | 1 | 0 | 2 | 109 |
| | | | | LCCO | 6,615 | 1 | 0 | 3 | 74 | 7,126 | 1 | 0 | 3 | 80 | 7,216 | 1 | 0 | 3 | 81 |
| | | | | RCCO | 6,615 | 1 | 0 | 3 | 74 | 7,126 | 1 | 0 | 3 | 80 | 7,216 | 1 | 0 | 3 | 81 |
| P6 | 40 | 1050 | 134W | T1S | 14,805 | 3 | 0 | 3 | 110 | 15,949 | 3 | 0 | 3 | 119 | 16,151 | 3 | 0 | 3 | 121 |
| | | | | T2S | 14,789 | 3 | 0 | 3 | 110 | 15,932 | 3 | 0 | 3 | 119 | 16,134 | 3 | 0 | 3 | 120 |
| | | | | T2M | 14,865 | 3 | 0 | 3 | 111 | 16,014 | 3 | 0 | 3 | 120 | 16,217 | 3 | 0 | 3 | 121 |
| | | | | T3S | 14,396 | 3 | 0 | 3 | 107 | 15,509 | 3 | 0 | 3 | 116 | 15,705 | 3 | 0 | 3 | 117 |
| | | | | T3M | 14,829 | 2 | 0 | 3 | 111 | 15,975 | 3 | 0 | 3 | 119 | 16,177 | 3 | 0 | 3 | 121 |
| | | | | T4M | 14,507 | 2 | 0 | 3 | 108 | 15,628 | 3 | 0 | 3 | 117 | 15,826 | 3 | 0 | 3 | 118 |
| | | | | TFTM | 14,820 | 2 | 0 | 3 | 111 | 15,965 | 3 | 0 | 3 | 119 | 16,167 | 3 | 0 | 3 | 121 |
| | | | | T5VS | 15,413 | 4 | 0 | 1 | 115 | 16,604 | 4 | 0 | 1 | 124 | 16,815 | 4 | 0 | 1 | 125 |
| | | | | T5S | 15,426 | 3 | 0 | 1 | 115 | 16,618 | 4 | 0 | 1 | 124 | 16,828 | 4 | 0 | 1 | 126 |
| | | | | T5M | 15,387 | 4 | 0 | 2 | 115 | 16,576 | 4 | 0 | 2 | 124 | 16,786 | 4 | 0 | 2 | 125 |
| | | | | T5W | 15,506 | 4 | 0 | 3 | 116 | 16,704 | 4 | 0 | 3 | 125 | 16,915 | 4 | 0 | 3 | 126 |
| | | | | BLC | 12,151 | 1 | 0 | 2 | 91 | 13,090 | 1 | 0 | 2 | 98 | 13,255 | 1 | 0 | 2 | 99 |
| | | | | LCCO | 9,041 | 1 | 0 | 3 | 67 | 9,740 | 1 | 0 | 3 | 73 | 9,863 | 1 | 0 | 3 | 74 |
| | | | | RCCO | 9,041 | 1 | 0 | 3 | 67 | 9,740 | 1 | 0 | 3 | 73 | 9,863 | 1 | 0 | 3 | 74 |
| P7 | 40 | 1300 | 166W | T1S | 17,023 | 3 | 0 | 3 | 103 | 18,338 | 3 | 0 | 3 | 110 | 18,570 | 3 | 0 | 3 | 112 |
| | | | | T2S | 17,005 | 3 | 0 | 3 | 102 | 18,319 | 3 | 0 | 3 | 110 | 18,551 | 3 | 0 | 3 | 112 |
| | | | | T2M | 17,092 | 3 | 0 | 3 | 103 | 18,413 | 3 | 0 | 3 | 111 | 18,646 | 3 | 0 | 3 | 112 |
| | | | | T3S | 16,553 | 3 | 0 | 3 | 100 | 17,832 | 3 | 0 | 3 | 107 | 18,058 | 3 | 0 | 3 | 109 |
| | | | | T3M | 17,051 | 3 | 0 | 3 | 103 | 18,369 | 3 | 0 | 3 | 111 | 18,601 | 3 | 0 | 3 | 112 |
| | | | | T4M | 16,681 | 3 | 0 | 3 | 100 | 17,969 | 3 | 0 | 3 | 108 | 18,197 | 3 | 0 | 3 | 110 |
| | | | | TFTM | 17,040 | 3 | 0 | 3 | 103 | 18,357 | 3 | 0 | 4 | 111 | 18,590 | 3 | 0 | 4 | 112 |
| | | | | T5VS | 17,723 | 4 | 0 | 1 | 107 | 19,092 | 4 | 0 | 1 | 115 | 19,334 | 4 | 0 | 1 | 116 |
| | | | | T5S | 17,737 | 4 | 0 | 2 | 107 | 19,108 | 4 | 0 | 2 | 115 | 19,349 | 4 | 0 | 2 | 117 |
| | | | | T5M | 17,692 | 4 | 0 | 2 | 107 | 19,059 | 4 | 0 | 2 | 115 | 19,301 | 4 | 0 | 2 | 116 |
| | | | | T5W | 17,829 | 5 | 0 | 3 | 107 | 19,207 | 5 | 0 | 3 | 116 | 19,450 | 5 | 0 | 3 | 117 |
| | | | | BLC | 13,971 | 2 | 0 | 2 | 84 | 15,051 | 2 | 0 | 2 | 91 | 15,241 | 2 | 0 | 2 | 92 |
| | | | | LCCO | 10,396 | 1 | 0 | 3 | 63 | 11,199 | 1 | 0 | 3 | 67 | 11,341 | 1 | 0 | 3 | 68 |
| | | | | | 10,396 | 1 | 0 | 3 | 63 | 11,199 | 1 | 0 | 3 | 67 | 11,341 | 1 | 0 | 3 | 68 |


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## FIXTURE TYPE "AA3"

**Performance Data**

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

**Rotated Optics**

| Power Package | LED Count | Drive Current | System Watts | Dist. Type | 30K (3000 K, 70 CRI) Lumens | B | U | G | LPW | 40K (4000 K, 70 CRI) Lumens | B | U | G | LPW | 50K (5000 K, 70 CRI) Lumens | B | U | G | LPW |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| P10 | 30 | 530 | 53W | T1S | 6,727 | 2 | 0 | 2 | 127 | 7,247 | 3 | 0 | 3 | 137 | 7,339 | 3 | 0 | 3 | 138 |
| | | | | T2S | 6,689 | 3 | 0 | 3 | 126 | 7,205 | 3 | 0 | 3 | 136 | 7,297 | 3 | 0 | 3 | 138 |
| | | | | T2M | 6,809 | 3 | 0 | 3 | 128 | 7,336 | 3 | 0 | 3 | 138 | 7,428 | 3 | 0 | 3 | 140 |
| | | | | T3S | 6,585 | 3 | 0 | 3 | 124 | 7,094 | 3 | 0 | 3 | 134 | 7,183 | 3 | 0 | 3 | 136 |
| | | | | T3M | 6,805 | 3 | 0 | 3 | 128 | 7,331 | 3 | 0 | 3 | 138 | 7,424 | 3 | 0 | 3 | 140 |
| | | | | T4M | 6,677 | 3 | 0 | 3 | 126 | 7,193 | 3 | 0 | 3 | 136 | 7,284 | 3 | 0 | 3 | 137 |
| | | | | TFTM | 6,850 | 3 | 0 | 3 | 129 | 7,379 | 3 | 0 | 3 | 139 | 7,472 | 3 | 0 | 3 | 141 |
| | | | | T5VS | 6,898 | 3 | 0 | 0 | 130 | 7,431 | 3 | 0 | 0 | 140 | 7,525 | 3 | 0 | 0 | 142 |
| | | | | T5S | 6,840 | 2 | 0 | 1 | 129 | 7,368 | 2 | 0 | 1 | 139 | 7,461 | 2 | 0 | 1 | 141 |
| | | | | T5M | 6,838 | 3 | 0 | 1 | 129 | 7,366 | 3 | 0 | 2 | 139 | 7,460 | 3 | 0 | 2 | 141 |
| | | | | T5W | 6,777 | 3 | 0 | 2 | 128 | 7,300 | 3 | 0 | 2 | 138 | 7,393 | 3 | 0 | 2 | 139 |
| | | | | BLC | 5,626 | 2 | 0 | 2 | 106 | 6,060 | 2 | 0 | 2 | 114 | 6,137 | 2 | 0 | 2 | 116 |
| | | | | LCCO | 4,018 | 1 | 0 | 2 | 76 | 4,328 | 1 | 0 | 2 | 82 | 4,383 | 1 | 0 | 2 | 83 |
| | | | | RCCO | 4,013 | 3 | 0 | 3 | 76 | 4,323 | 3 | 0 | 3 | 82 | 4,377 | 3 | 0 | 3 | 83 |
| P11 | 30 | 700 | 72W | T1S | 8,594 | 3 | 0 | 3 | 119 | 9,258 | 3 | 0 | 3 | 129 | 9,376 | 3 | 0 | 3 | 130 |
| | | | | T2S | 8,545 | 3 | 0 | 3 | 119 | 9,205 | 3 | 0 | 3 | 128 | 9,322 | 3 | 0 | 3 | 129 |
| | | | | T2M | 8,699 | 3 | 0 | 3 | 121 | 9,371 | 3 | 0 | 3 | 130 | 9,490 | 3 | 0 | 3 | 132 |
| | | | | T3S | 8,412 | 3 | 0 | 3 | 117 | 9,062 | 3 | 0 | 3 | 126 | 9,177 | 3 | 0 | 3 | 127 |
| | | | | T3M | 8,694 | 3 | 0 | 3 | 121 | 9,366 | 3 | 0 | 3 | 130 | 9,484 | 3 | 0 | 3 | 132 |
| | | | | T4M | 8,530 | 3 | 0 | 3 | 118 | 9,189 | 3 | 0 | 3 | 128 | 9,305 | 3 | 0 | 3 | 129 |
| | | | | TFTM | 8,750 | 3 | 0 | 3 | 122 | 9,427 | 3 | 0 | 3 | 131 | 9,546 | 3 | 0 | 3 | 133 |
| | | | | T5VS | 8,812 | 3 | 0 | 0 | 122 | 9,493 | 3 | 0 | 0 | 132 | 9,613 | 3 | 0 | 0 | 134 |
| | | | | T5S | 8,738 | 3 | 0 | 1 | 121 | 9,413 | 3 | 0 | 1 | 131 | 9,532 | 3 | 0 | 1 | 132 |
| | | | | T5M | 8,736 | 3 | 0 | 2 | 121 | 9,411 | 3 | 0 | 2 | 131 | 9,530 | 3 | 0 | 2 | 132 |
| | | | | T5W | 8,657 | 4 | 0 | 2 | 120 | 9,326 | 4 | 0 | 2 | 130 | 9,444 | 4 | 0 | 2 | 131 |
| | | | | BLC | 7,187 | 3 | 0 | 3 | 100 | 7,742 | 3 | 0 | 3 | 108 | 7,840 | 3 | 0 | 3 | 109 |
| | | | | LCCO | 5,133 | 1 | 0 | 2 | 71 | 5,529 | 1 | 0 | 2 | 77 | 5,599 | 1 | 0 | 2 | 78 |
| | | | | RCCO | 5,126 | 3 | 0 | 3 | 71 | 5,522 | 3 | 0 | 3 | 77 | 5,592 | 3 | 0 | 3 | 78 |
| P12 | 30 | 1050 | 104W | T1S | 12,149 | 3 | 0 | 3 | 117 | 13,088 | 3 | 0 | 3 | 126 | 13,253 | 3 | 0 | 3 | 127 |
| | | | | T2S | 12,079 | 4 | 0 | 4 | 116 | 13,012 | 4 | 0 | 4 | 125 | 13,177 | 4 | 0 | 4 | 127 |
| | | | | T2M | 12,297 | 3 | 0 | 3 | 118 | 13,247 | 3 | 0 | 3 | 127 | 13,415 | 3 | 0 | 3 | 129 |
| | | | | T3S | 11,891 | 4 | 0 | 4 | 114 | 12,810 | 4 | 0 | 4 | 123 | 12,972 | 4 | 0 | 4 | 125 |
| | | | | T3M | 12,290 | 3 | 0 | 3 | 118 | 13,239 | 4 | 0 | 4 | 127 | 13,407 | 4 | 0 | 4 | 129 |
| | | | | T4M | 12,058 | 4 | 0 | 4 | 116 | 12,990 | 4 | 0 | 4 | 125 | 13,154 | 4 | 0 | 4 | 126 |
| | | | | TFTM | 12,369 | 4 | 0 | 4 | 119 | 13,325 | 4 | 0 | 4 | 128 | 13,494 | 4 | 0 | 4 | 130 |
| | | | | T5VS | 12,456 | 3 | 0 | 1 | 120 | 13,419 | 3 | 0 | 1 | 129 | 13,589 | 4 | 0 | 1 | 131 |
| | | | | T5S | 12,351 | 3 | 0 | 1 | 119 | 13,306 | 3 | 0 | 1 | 128 | 13,474 | 3 | 0 | 1 | 130 |
| | | | | T5M | 12,349 | 4 | 0 | 2 | 119 | 13,303 | 4 | 0 | 2 | 128 | 13,471 | 4 | 0 | 2 | 130 |
| | | | | T5W | 12,238 | 4 | 0 | 3 | 118 | 13,183 | 4 | 0 | 3 | 127 | 13,350 | 4 | 0 | 3 | 128 |
| | | | | BLC | 10,159 | 3 | 0 | 3 | 98 | 10,944 | 3 | 0 | 3 | 105 | 11,083 | 3 | 0 | 3 | 107 |
| | | | | LCCO | 7,256 | 1 | 0 | 3 | 70 | 7,816 | 1 | 0 | 3 | 75 | 7,915 | 1 | 0 | 3 | 76 |
| | | | | RCCO | 7,246 | 3 | 0 | 3 | 70 | 7,806 | 4 | 0 | 4 | 75 | 7,905 | 4 | 0 | 4 | 76 |
| P13 | 30 | 1300 | 128W | T1S | 14,438 | 3 | 0 | 3 | 113 | 15,554 | 3 | 0 | 3 | 122 | 15,751 | 3 | 0 | 3 | 123 |
| | | | | T2S | 14,355 | 4 | 0 | 4 | 112 | 15,465 | 4 | 0 | 4 | 121 | 15,660 | 4 | 0 | 4 | 122 |
| | | | | T2M | 14,614 | 3 | 0 | 3 | 114 | 15,744 | 4 | 0 | 4 | 123 | 15,943 | 4 | 0 | 4 | 125 |
| | | | | T3S | 14,132 | 4 | 0 | 4 | 110 | 15,224 | 4 | 0 | 4 | 119 | 15,417 | 4 | 0 | 4 | 120 |
| | | | | T3M | 14,606 | 4 | 0 | 4 | 114 | 15,735 | 4 | 0 | 4 | 123 | 15,934 | 4 | 0 | 4 | 124 |
| | | | | T4M | 14,330 | 4 | 0 | 4 | 112 | 15,438 | 4 | 0 | 4 | 121 | 15,633 | 4 | 0 | 4 | 122 |
| | | | | TFTM | 14,701 | 4 | 0 | 4 | 115 | 15,836 | 4 | 0 | 4 | 124 | 16,037 | 4 | 0 | 4 | 125 |
| | | | | T5VS | 14,804 | 4 | 0 | 1 | 116 | 15,948 | 4 | 0 | 1 | 125 | 16,150 | 4 | 0 | 1 | 126 |
| | | | | T5S | 14,679 | 3 | 0 | 1 | 115 | 15,814 | 3 | 0 | 1 | 124 | 16,014 | 3 | 0 | 1 | 125 |
| | | | | T5M | 14,676 | 4 | 0 | 2 | 115 | 15,810 | 4 | 0 | 2 | 124 | 16,010 | 4 | 0 | 2 | 125 |
| | | | | T5W | 14,544 | 4 | 0 | 3 | 114 | 15,668 | 4 | 0 | 3 | 122 | 15,866 | 4 | 0 | 3 | 124 |
| | | | | BLC | 7919 | 3 | 0 | 3 | 62 | 8531 | 3 | 0 | 3 | 67 | 8639 | 3 | 0 | 3 | 67 |
| | | | | LCCO | 5145 | 1 | 0 | 2 | 40 | 5543 | 1 | 0 | 2 | 43 | 5613 | 1 | 0 | 2 | 44 |
| | | | | | 5139 | 3 | 0 | 3 | 40 | 5536 | 3 | 0 | 3 | 43 | 5606 | 3 | 0 | 3 | 44 |


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## FIXTURE TYPE "CC"

**WST LED**
Architectural Wall Sconce

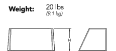
| | |
|---|---|
| Catalog Number | WST LED P1 40K VF MVOLT |
| Notes | |
| Type | CC |

Hit the Tab key or mouse over the page to see all interactive elements.

#### Specifications

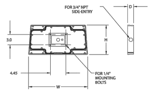
**Luminaire**

- **Height:** 8-1/2" (21.59 cm)
- **Width:** 17" (43.18 cm)
- **Depth:** 10-3/16" (25.9 cm)
- **Weight:** 20 lbs (9.1 kg)



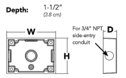
**Optional Back Box (PBBW)**

- **Height:** 8.49" (21.56 cm)
- **Width:** 17.01" (43.21 cm)
- **Depth:** 1.70" (4.32 cm)




**Optional Back Box (BBW)**

- **Height:** 4" (10.2 cm)
- **Width:** 5-1/2" (14.0 cm)
- **Depth:** 1-1/2" (3.8 cm)




**A+ Capable Luminaire**

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background[1]

To learn more about A+, visit www.acuitybrands.com/aplus.

See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL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## FIXTURE TYPE "CC"

A+ Capable options indicated by this color background.

**Ordering Information** **EXAMPLE:** WST LED P1 40K VF MVOLT DDBTXD

WST LED

| Series | Performance Package | Color temperature | Distribution | Voltage | Mounting |
|---|---|---|---|---|---|
| WST LED | P1 1,500 Lumen package<br>P2 3,000 Lumen package<br>P3 6,000 Lumen package | 27K 2700 K<br>30K 3000 K<br>40K 4000 K<br>50K 5000 K | VF Visual comfort forward throw<br>VW Visual comfort wide | MVOLT[1] 277[2]<br>120[2] 347[2]<br>208[2] 480[2]<br>240[2] | **Shipped included**<br>(blank) Surface mounting bracket<br>**Shipped separately**<br>BBW Surface-mounted back box[3]<br>PBBW Premium surface-mounted back box[3,4] |

**Options**

- NLTAIR2 PIR nLIGHT AIR Wireless enabled motion/ambient sensor for 8'-15' mounting heights[5,6]
- NLTAIR2 PIRH nLIGHT AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights[5,6]
- PE Photoelectric cell, button type[7]
- PER NEMA twist-lock receptacle only (controls ordered separate)[8]
- PER5 Five-wire receptacle only (controls ordered separate)[8]
- PER7 Seven-wire receptacle only (controls ordered separate)[8]
- PIR Motion/Ambient Light Sensor, 8-15' mounting height[5,6]
- PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc[5,6]
- PIRH 180° motion/ambient light sensor, 15-30' mounting height[5,6]
- PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc[5,6]
- SF Single fuse (120, 277, 347V)[2]
- DF Double fuse (208, 240, 480V)[2]
- DS Dual switching[9]
- DMG 0-10V dimming extend out back of housing for external control (control ordered separate)[10]
- E7WH Emergency battery backup, Non CEC compliant (7W)[11]
- E7WC Emergency battery backup, CA Title 20 Noncompliant (cold, 7W)[11,12]
- E7WHR Remote emergency battery backup, CA Title 20 Noncompliant (remote 7W)[11,13]
- E20WH Emergency battery pack 18W constant power, Certified in CA Title 20 MAEDBS[11]
- E20WC Emergency battery pack -20°C 18W constant power, Certified in CA Title 20 MAEDBS[11,12]
- E23WHR Remote emergency battery backup, CA Title 20 Noncompliant (remote 20W)[11,13,14]
- LCE Left side conduit entry[15]
- RCE Right side conduit entry[15]

**Shipped separately**

- RBPW Retrofit back plate[3]
- VG Vandal guard[15]
- WG Wire guard[15]

**Finish (required)**

- DDBXD Dark bronze
- DBLXD Black
- DNAXD Natural aluminum
- DWHXD White
- DSSXD Sandstone
- DDBTXD Textured dark bronze
- DBLBXD Textured black
- DNATXD Textured natural aluminum
- DWHGXD Textured white
- DSSTXD Textured sandstone

**Accessories**

Ordered and shipped separately.

- WSTVCPBBW DDBXD U Premium Surface - mounted back box
- WSBBW DDBTXD U Surface - mounted back box
- RBPW DDBXD U Retrofit back plate

**NOTES**

1. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
2. Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
3. Also available as a separate accessory; see accessories information.
4. Top conduit entry standard.
5. Not available with VG or WG. See PER Table.
6. Reference Motion Sensor table.
7. Need to specify 120, 208, 240 or 277 voltage.
8. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
9. Not available with Emergency options, PE or PER options.
10. DMG option not available with standalone or networked sensors/controls.
11. Not available with 347/480V.
12. Battery pack rated for -20° to 40°C.
13. Comes with PBBW.
14. Warranty period is 3-years.
15. Not available with BBW.
16. Must order with fixture; not an accessory.

**Emergency Battery Operation**

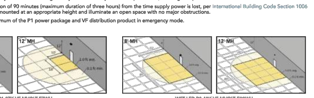
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of NFPA 70/NEC 2008 - 700.16

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.

10' x 10' Gridlines
8' and 12' Mounting Height




WST LED P1 27K VF MVOLT E7WH

WST LED P2 40K VF MVOLT E20WH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## FIXTURE TYPE "CC"

**Performance Data**

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | | Lumen Multiplier |
|---|---|---|
| 0°C | 32°F | 1.03 |
| 10°C | 50°F | 1.02 |
| 20°C | 68°F | 1.01 |
| **25°C** | **77°F** | **1.00** |
| 30°C | 86°F | 0.99 |
| 40°C | 104°F | 0.98 |

### Electrical Load

| Performance package | System Watts | Current (A) 120 | 208 | 240 | 277 | 347 | 480 |
|---|---|---|---|---|---|---|---|
| P1 | 11 | 0.1 | 0.06 | 0.05 | 0.04 | — | — |
| | 14 | — | — | — | — | 0.04 | 0.03 |
| P1 DS | 14 | 0.12 | 0.07 | 0.06 | 0.06 | — | — |
| P2 | 25 | 0.21 | 0.13 | 0.11 | 0.1 | — | — |
| | 30 | — | — | — | — | 0.09 | 0.06 |
| P2 DS | 25 | 0.21 | 0.13 | 0.11 | 0.1 | — | — |
| P3 | 50 | 0.42 | 0.24 | 0.21 | 0.19 | — | — |
| | 56 | — | — | — | — | 0.16 | 0.12 |
| P3 DS | 52 | 0.43 | 0.26 | 0.23 | 0.21 | — | — |

### Projected LED Lumen Maintenance

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

| Operating Hours | 0 | 25,000 | 50,000 | 100,000 |
|---|---|---|---|---|
| Lumen Maintenance Factor | 1.0 | >0.95 | >0.92 | >0.87 |

**Motion Sensor Default Settings**

| Option | Dimmed State | High Level (when triggered) | Photocell Operation | Ramp-up Time | Dwell Time | Ramp-down Time |
|---|---|---|---|---|---|---|
| *PIR or PIRH | 3V (37%) Output | 10V (100%) Output | Enabled @ 5FC | 3 sec | 5 min | 5 min |
| PIR1FC3V or PIRH1FC3V | 3V (37%) Output | 10V (100%) Output | Enabled @ 1FC | 3 sec | 5 min | 5 min |

*for use with site wide Dusk to Dawn control

### PER Table

| Control | PER (3 wire) | PER5 (5 wire) | Wire 4/Wire5 | PER7 (7 wire) | Wire 4/Wire5 | Wire 6/Wire7 |
|---|---|---|---|---|---|---|
| Photocontrol Only (On/Off) | Recommended | Alternate | Wired to dimming leads on driver | Alternate | Wired to dimming leads on driver | Wires Capped inside fixture |
| ROAM | Will not work | Recommended | Wired to dimming leads on driver | Alternate | Wired to dimming leads on driver | Wires Capped inside fixture |
| ROAM with Motion | Will not work | Alternate | Wired to dimming leads on driver | Alternate | Wired to dimming leads on driver | Wires Capped inside fixture |
| Futureproof* | Will not work | Alternate | Wired to dimming leads on driver | Recommended | Wired to dimming leads on driver | Wires Capped inside fixture |
| Futureproof* with Motion | Will not work | Alternate | Wired to dimming leads on driver | Recommended | Wired to dimming leads on driver | Wires Capped inside fixture |

Recommended
Will not work
Alternate

*Futureproof means: Ability to change controls in the future.

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

| Performance Package | System Watts (MVOLT) | Dist. Type | 27K (2700K, 70 CRI) Lumens | B | U | G | LPW | 30K (3000K, 70 CRI) Lumens | B | U | G | LPW | 40K (4000K, 70 CRI) Lumens | B | U | G | LPW | 50K (5000K, 70 CRI) Lumens | B | U | G | LPW |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| P1 | 12W | VF | 1,494 | 0 | 0 | 0 | 125 | 1,529 | 0 | 0 | 0 | 127 | 1,639 | 0 | 0 | 0 | 137 | 1,639 | 0 | 0 | 0 | 137 |
| | | VW | 1,513 | 0 | 0 | 0 | 126 | 1,548 | 0 | 0 | 0 | 129 | 1,659 | 0 | 0 | 0 | 138 | 1,660 | 0 | 0 | 0 | 138 |
| P2 | 25W | VF | 3,163 | 1 | 0 | 1 | 127 | 3,237 | 1 | 0 | 1 | 129 | 3,469 | 1 | 0 | 1 | 139 | 3,468 | 1 | 0 | 1 | 139 |
| | | VW | 3,201 | 1 | 0 | 0 | 128 | 3,276 | 1 | 0 | 0 | 131 | 3,512 | 1 | 0 | 0 | 140 | 3,512 | 1 | 0 | 0 | 140 |
| P3 | 50W | VF | 6,025 | 1 | 0 | 1 | 121 | 6,165 | 1 | 0 | 1 | 123 | 6,609 | 1 | 0 | 1 | 132 | 6,607 | 1 | 0 | 1 | 132 |
| | | VW | 6,098 | 1 | 0 | 1 | 122 | 6,240 | 1 | 0 | 1 | 125 | 6,689 | 1 | 0 | 1 | 134 | 6,691 | 1 | 0 | 1 | 134 |


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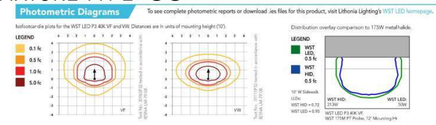
## FIXTURE TYPE "CC"

**Photometric Diagrams** To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's WST LED homepage.

Isofootcandle plots for the WST LED P3 40K VF and VW. Distances are in units of mounting height (10').

Distribution overlay comparison to 175W metal halide.




**FEATURES & SPECIFICATIONS**

**INTENDED USE**
The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

**CONSTRUCTION**
The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

**FINISH**
Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

**OPTICS**
Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

**ELECTRICAL**
Light engine(s) consist of 98 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

**INSTALLATION**
A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

**LISTINGS**
CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. PIR and back box options are rated for wet location. Rated for -30°C to 40°C ambient.

DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

**WARRANTY**
5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/resources/terms-and-conditions

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.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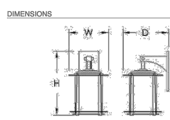
## S9305 Series

DIMENSIONS




| W | H | D | MC | BASE MODEL NO. |
|---|---|---|---|---|
| 10 1/2" | 17" | 12" | 5 1/2" | **S9305-L12** |

SPECIFICATIONS
Driver: 0-10V dimming to 1%, 120/277
Mounting: Mounts to all Standard Electrical Junction Boxes (by others) With Hardware Provided. Silicone Seal Required (by others).

FEATURES
- Opal Acrylic Lens
- Solid Aluminum Material
- UL Listed for Wet Location
- LED 0-10V Dimming Driver

ORDER AS A COMPLETE UNIT:
Model No. + Lamp Code + CCT + Finish + Option Code
S9305-L12 + 27K 30K 35K 40K + PT BA + Option

FINISHES
BA Brushed Aluminum PT Powder Coated Finishes* **
*(Specify Color Code from the list of Powder Coating Finishes [except interior only metallics])

OPTIONS
EML Emergency Battery Pack with LED Lighting (Remote)

LIGHT OUTPUT
LXX = ~ 81 LPW Delivered Lumens (Example: L12= 12 x 81 = 972 Lumens)

** Try our new Shimmer Metalic Paints, Formulated for Exterior Conditions.

www.ScottArchLighting.com | Tel (707) 864-2172 | Fax (707) 864-2182
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ENSURE FIXTURE IS FULL CUT OFF.

**AMENDMENT**

| DATE | NO. | DESCRIPTION |
|---|---|---|
| 10/16/20 | 1 | REVISION 1 |
| | | |
| | | |
| | | |

SHEET
15 OF 15

COVER SHEET
PROJECT RECORD NUMBER:
DV-CUSP-20-00003

DATE PREPARED: 06-05-2020
PLANS PREPARED FOR:

**TEBO DEV. CO**

3111 28TH STREET
BOULDER, CO 80301

PWN Architects & Planners, Inc.
4949 S. Syracuse St. | Suite 320
Denver, CO 80237
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

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Number: 1 Author: Pecherzewskiam Subject: Sticky Note Date: 2/3/2021 5:35:56 PM

This specific light fixture does not appear to meet the requirement to be a shielded full cutoff light fixture. Please select another wall-mounted light fixture that meets the standard and provide the spec sheet here.